

## DO I NEED PLANNING PERMISSION?

Please note that since 1st November 2023 the City Council have introduced a charge of £55 for dealing with such requests (except those that are prior approval requests - see bottom of page 1 for details). We are not able to deal with this request in the absence of this fee.

Please complete the form below. Not all sections may be relevant to what you are proposing. In such cases leave blank.

Name: _____ Telephone (home): _____ Telephone (work): .....
Email: _____
Address for reply: .....
Address of proposed works: .....
<b>Description of proposed works</b> (e.g. conservatory, extension, detached garage, Vehicular access): <b>Vehicular access</b> if the works involve a new vehicular access to a highway, give the name of the road or street .....
<b>Other</b> (please specify) .....
<b>All external dimensions of proposed works for extensions/outbuildings:</b>
Length:.....Width: .....
Height to lowest point of roof (eaves): ..... Height to highest point of roof: .....
Location: front/rear/side:..... Sheds and garages: Precast/brick/timber: .
<b>Description/dimensions of all original parts of your house demolished/to be demolished and whether built as part of original houses or added since it was built.</b> e.g. Rear WC/Coal house: 3m wide x 4m long x 3m to 4m high - Part of original House..... 1 .....
2 .....
3 .....
<b>Details about your property</b> Is the property a detached dwelling/semi-detached dwelling/terraced or end of terrace dwelling/flat or maisonette/shop/office/factory? (please identify as appropriate) or other: Would more than 50% of your original garden area (front and rear) remain free of extensions/separate structures? <b>Yes</b> / <b>No</b>
<b>Prior Approval Requests</b> Under changes made on 30 <sup>th</sup> May, 2013 some single storey rear extensions are permitted but require the Local Planning Authority to consider if prior approval is required. These cases are as follows:-

1. A single storey extension that extends beyond the rear of the original house by more than 4m but less than 8m on **detached property**, height not exceeding 4m, more than 50% of the curtilage (gardens) remaining, and if within 2m of the boundary the eaves shall not exceed 3m.
2. A single storey extension that extends beyond the rear of the original house by more than 3m but less than 6m on **semi-detached or terraced property**, height not exceeding 4m, more than 50% of the curtilage (gardens) remaining, and if within 2m of the boundary the eaves shall not exceed 3m.

If your requests relates to either of the above examples an application is required, the fee for which is £96. **It is essential that you provide the Council with the details on these forms to allow this request to be processed.**

### Site plan of proposed works

T e r r a c e d	Garage	Distance from nearest part of house	Extension	Original House	Road Name
--------------------------------------	--------	---	-----------	-------------------	--------------

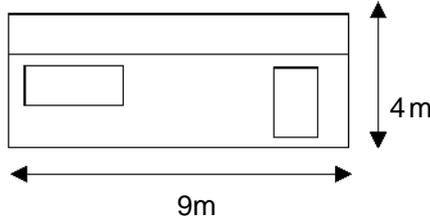
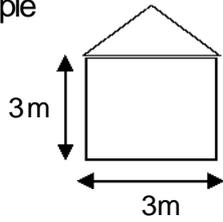
Example

Your site Plan:-

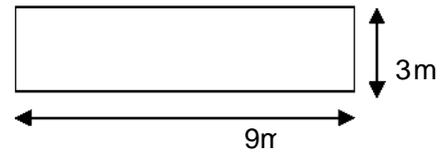
Ctd..

**Plan View/Side and End Elevations of Proposed Works**

Example



Plan



Your Plan View/Elevations:-

*(Please make clear any window and door positions and also identify areas of obscure glazing etc. Typically conservatories and any windows on adjoining boundaries are best being obscure glazed and non-opening.)*

In the case of **prior approval requests** you are also required to provide the addresses of any adjoining premises. Please provide details below (if applicable):-

.....

.....

.....

.....

**Declaration**

**I hereby declare that the information given on this form is complete and correct and the works will be carried out in accordance with the dimensions I have given. I understand that the City Council will base their reply solely on the information I have provided.**

**Signed:**.....

**Date:**

**On behalf of:**..... (Insert applicant's name if signed by an agent)