



**Spring Bank Conservation Area
Management Plan (South side)**
Draft for Review



seven.

Street: Spring Bank/Spring Street

Historic Photo – 1904 (Hull Then and Now, Paul Gibson)



Address: Stone Boy House

Historic Photo -1929 (Hull Then and Now, Paul Gibson)



Photograph taken in 1996 (Phil Hampel)



Photograph taken in 1970's (Phil Hampel)



Photograph taken in 1996 (Phil Hampel)



Photograph taken in 1996 (Phil Hampel)



Photograph taken in 1996 (Phil Hampel)



Photograph taken in 1994 (Phil Hampel)



Photograph taken in 1994 (Phil Hampel)



Current Photo – 11/05/2023 (author)



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Building Notes

The building was constructed pre 1836. Originally named Stone Boy house after the monument of a stone boy on the roof at the corner of Spring Bank/Spring Street. The building was renovated August 1929. The distinctive stucco classical column sections have been retained.

The building has been subject to modifications that have removed historical fabric and that have a negative impact on this key building at the entrance to the Conservation Area from the east. These include :-



- Removal of historic shopfronts and replacement with low quality metal/timber framed shopfronts
- Removal of original timber sash windows and replacement with uPVC casement windows to the upper floor levels
- Removal of the projecting bay window to the corner of Spring Street and Spring Bank and replacement with uPVC casement windows
- Installation of external roller shutters to some shopfronts
- Insulation and rendering to the external columns
- Inappropriate locations and routes for rain water goods
- Low quality entrance doors to apartments at upper floor levels
- Inappropriate large scale illuminated signage (potentially concealing the earlier shopfront fascia sign)
- Replacement of original roof finish with concrete pantiles

Monitoring Notes	Roof appears to be in poor condition with low quality patch repairs previously undertaken and missing tiles Staining above the second floor stone cornice would suggest that there is a potential need for a lead flashing detail to ensure water run-off and to avoid structural deterioration
Recommended Actions	<p>As a key focal building at the entrance of Spring Bank from Ferensway, this is an important building that would benefit from the following works:-</p> <ul style="list-style-type: none"> • Removal of existing shopfronts and inappropriate illuminated signage to all units within Stone Boy House and the reinstatement of the historic timber shopfront design including pilasters, fascia signs, corbels, incorporating new timber doors to upper floor apartments • Replacement of existing uPVC windows with timber framed sash windows throughout • Reinstatement of the original bay window to the corner of Spring Street and Spring Bank • Replacement of the existing roof finish with the original material • Re-routing and replacement of all rainwater goods with cast iron • Patch repairs and redecoration of the external rendered walls • Reinstatement of the carved stone corner detail and Stone Boy statue • Rationalisation/removal of conduits, redundant signage • Removal of the insulation and render to the columns to reveal the historic details



Street: Spring Bank	Address: Holly M's Sandwich shop 21 Spring Bank
Historic Photo from 2009 (Google Maps)	Current Photo – 11.05.2023 (author)
	
Building Notes	Built pre-1836 as one of the earliest urban blocks developed along Spring Bank featuring the following :- <ul style="list-style-type: none"> • Brickwork external façade, later painted. Soldier course brickwork at first floor level would suggest that the ground floor shopfront has been infilled with part brickwork at a later date. • Decorative cut brickwork detailing to lintels to windows at first floor level still in situ and in good condition. • Modern low quality timber shopfront and entrance door with external security grills. • LHS window boarded up, RHS window modern timber casement window. • uPVC rainwater goods in poor condition and require replacing. • Concrete pantile roof. • Visual clutter including light fittings, conduits and alarm boxes
Monitoring Notes	<ul style="list-style-type: none"> • Rainwater goods are in poor condition. • No works to be undertaken to remove / cause damage to decorative cut brick lintels to first floor windows.



**Recommended
Actions**





- Removal of the existing shopfront and reinstatement of a more appropriate timber shopfront with pilasters, stall risers, corbel and fascia details.
- Removal of clutter including conduits, alarm boxes, light fittings.
- Strip paint from brickwork throughout and reveal cut brickwork lintel details.
- Remove boarding to LHS window and replace two windows with timber sliding sash windows
- Replacement of concrete pantile roof with slate throughout
- Replacement of rainwater goods with cast iron including concealed downpipe behind shopfront pilaster.

Street:	Spring Bank	Address	Beauty Shop, 23 Spring Bank Hull
Historic Photo from 2009 (Google Maps)		Current Photo – 11.05.2023 (author)	
			
Building Notes	<p>Built pre-1836 as one of the earliest urban blocks developed along Spring Bank featuring the following :-</p> <ul style="list-style-type: none"> • Brickwork external façade, later painted, now peeling from brickwork. • Retained bay window at first floor level (although the timber sash windows have been replaced with new double glazed sash windows). • Timber casement window at second floor level. • Retained the earlier historic fascia, cornice and corbel details. • Historical pilaster details have been replaced to the RHS with low quality box-out. Pilaster to LHS missing. • uPVC rainwater goods in poor condition and require replacing. • Concrete pantile roof. • Visual clutter including light fittings, conduits and alarm boxes 		

	<ul style="list-style-type: none"> • Low quality timber door to the apartment above. • Modern full height metal framed shopfront.
Monitoring Notes	<ul style="list-style-type: none"> • Retained historic fascia, cornice and corbel detail to be protected from removal. • First floor bay window to be protected from removal.
Recommended Actions	<ul style="list-style-type: none"> • Remove external roller shutters • Restore retained fascia and remove fake grass from signage • Reinststate pilasters to each side of shop front • Reinststate historic shopfront design with stall riser detail. • Remove illuminated projecting sign • Remove paint from brickwork and repair/repoint brickwork if required • Replace timber door and reinststate fanlight • Replace uPVC gutters and downpipes with cast iron

Street:	Spring Bank	Address	The Blue Shop, 25 Spring Bank
Historic Photo 24/11/83		Current Photo – 11.05.2023 (author)	
			
Building Notes	Pre 1893 façade which has been externally insulated and rendered which has concealed any original details including the arched niches, decorative window lintels and decorative Corinthian column heads. Has undergone extensive redevelopment to the rear of the property to form a Snooker Club/Night Club. All timber windows have been replaced with new uPVC casement windows. Does not contribute positively to the Conservation Area in its current condition.		
Monitoring Notes	Shop front negatively contributes to the character of Spring Bank. Removal of external insulation should be encouraged due to harm caused to historic external walls and the concealment of decorative details that would add character to the Conservation Area.		
Recommended Actions	<ul style="list-style-type: none"> • Remove external insulation to reveal historic decorative features. • Replace UPVC windows with timber sash windows. • Remove roller shutters. Remove fascia signage and projecting signage. 		

Street: Spring Bank	Address: Chinese Massage, 27 Spring Bank
Historic Photo 24/11/83	Current Photo – 11.05.2023 (author)
	
Building Notes	Pre 1893 façade which has been externally insulated and rendered which has concealed any original details including the arched niches, decorative window lintels and decorative Corinthian column heads. Has undergone extensive redevelopment to the rear of the property to form a Snooker Club/Night Club. All timber windows have been replaced with new uPVC casement windows. Does not contribute positively to the Conservation Area in its current condition.
Monitoring Notes	Shop front negatively contributes to the character of Spring Bank. Removal of external insulation should be encouraged due to harm caused to historic external walls by holding in moisture in the fabric and the concealment of decorative details that would add character to the Conservation Area.
Recommended Actions	<ul style="list-style-type: none"> • Remove external insulation to reveal historic decorative features. • Replace UPVC windows with timber sash windows. • Remove roller shutters. Remove fascia signage and projecting signage.

Street:	Spring Bank	Address	Spring Bank Tavern, 29-31 Spring Bank
Historic Photo taken 24/11/83 (Phil Hampel)		Historic Photo taken 24/11/83 (Phil Hampel)	
			
Historic Photo taken 15/5/95 (Phil Hampel)		Historic Photo taken 15/5/95 (Phil Hampel)	
			

Historic Photo taken late 1990's (Phil Hampel)



Current Photos – 11/05/2023 (author)




<p>Building Notes</p>	<p>Dates from before 1820. Generally, positively contributes to the character of the street. Original Spring Bank Tavern comprises of rendered brickwork with feature stone keystones, window lintels, stone plinth and pedimented entrance door retained. Terracotta pantiles to roof. Timber sash windows to upper floor levels appear to be new double glazed timber sliding sash. Ground floor arched timber framed casement windows with carved rosette detail at the head retained to the original pub building retained. Decorative timber brackets supporting timber gutter, eaves and fascia add depth and detail at eaves level.</p> <p>Pub later extended into adjacent shop unit in the late 1990's and historic shopfront removed although it has retained the original timber curved fascia , pilasters and decorative cornice. Later addition curved sign to corner conceals first floor window. Cast iron rainwater goods retained in situ. Former shop unit comprises of brickwork external walls, currently painted to match rendered building with splayed stone lintel details.</p> <p>Locally listed building considered to be a key focal point to the street as a key corner gateway building. In reasonable condition generally.</p>
<p>Monitoring Notes</p>	<ul style="list-style-type: none"> • Ensure that any future works do not remove historical fabric to pub including stone pilasters, pedimented entrance, decorative arched window lintels, timber eaves brackets and stone details generally. • No works permitted to remove the historic shopfront fascia, cornice and pediments to the former shopfront (now main entrance to the Spring Bank Tavern). • Removal of the large corner sign would be supported as it conceals original window and arch to the corner. • Stepped access to main entrance is not fully accessible. • Retained cast iron rainwater goods to be retained and repaired where possible or replaced with cast iron if required.
<p>Recommended Actions</p>	<ul style="list-style-type: none"> • Damage to one of the pilasters. • Remove redundant wires and light fittings. • Limited urgent action required.

Street: Hall Street	Address: Former Fire Station, Hall Street
Historic Photo taken 24/11/83 (Phil Hampel)	Historic Photo taken 15/5/95 (Phil Hampel)
	
Current Photo – 11/05/2023 (author)	Current Photo – 11/05/2023 (author)
	

Building Notes	<p>Dates from before 1856. Grade II Listed Building protected by Historic England. Red brickwork building generally with arched window openings throughout with decorative blue and white brick arched lintels. Decorative cornice detail at first floor level and decorative white bricks below and between stone window cills. Carved stone horse heads to stables entrance and firemen heads to fire tender entrance retained. Original arched sliding sash windows retained to first floor level. Ground floor windows replaced with fixed/casement windows. Original timber door and glazed overpanel retained and restored. Deep timber eaves fascia and gutter detail with decorative timber brackets retained. Slate roof with chimneys retained along with contrasting brickwork detailing and decorative chimney pots. Has benefitted from recent restoration and change of use to residential and retail use at ground floor level. Splayed entrances to archways demarcated in existing footpath, albeit in modern concrete materials. Cast iron rainwater goods retained.</p>
Monitoring Notes	<p>Contributes positively to the Conservation Area. Restoration and change of use has retained historical features in-situ. Party wall to the south-west gable where adjacent building has been removed is left exposed with poor repairs, missing bricks and open joints and has the potential to cause water ingress. Would recommend remedial works to repair by replacing missing brickwork and repointing. Any works that can potentially harm the quality of the brickwork or stone features to be avoided.</p>
Recommended Actions	<ul style="list-style-type: none"> • Repointing and repair of south-west party wall brickwork

Street:	Spring Bank	Address	Ink Werx Tattoo Parlour, 33 Spring Bank
Photo from 2008 (Google maps)		Photo from 2016 (Google maps)	
 <p>A photograph from 2008 showing the Ink Werx Tattoo Parlour on Spring Bank. The building is a two-story structure with a white ground floor and a blue upper floor. A sign above the entrance reads 'INKWERX TATTOOING'. To the right, there is a 'WINS' convenience store with a red sign that says 'DELIVERY AVAILABLE TEL: 01482 227162'. A silver car is parked in front of the WINS store, and a motorcycle is parked in front of the tattoo parlour.</p>		 <p>A photograph from 2016 showing the same building. The ground floor is now a dark-colored storefront with large graffiti. The graffiti includes the words 'INKWERX' and 'TATTOOING' in a stylized font. The WINS store is still visible to the right. A person is standing on the sidewalk in front of the building.</p>	
Current Photo – 11/05/2023 (author)		Current Photo – 11/05/2023 (author)	
 <p>A current photograph of the building. The ground floor is a dark grey or black color, covered in large, intricate white and blue graffiti. The graffiti features the words 'INKWERX' and 'TATTOOING' in a highly stylized, calligraphic font. The upper floor is a dark grey color with a blue door. The building is situated on a street with other buildings visible in the background.</p>		 <p>A current photograph of the building from a different angle. The ground floor is a dark grey or black color, covered in large, intricate white and blue graffiti. The graffiti features the words 'INKWERX' and 'TATTOOING' in a highly stylized, calligraphic font. The upper floor is a light grey color with three windows. The building is situated on a street with other buildings visible in the background.</p>	





<p>Building Notes</p>	<p>Pre 1856 corner building (focal point). Building generally of low quality with limited historical features. Features limited to splayed stone window heads, now painted to match brickwork wall colour. First floor paintwork is peeling and in poor condition.</p> <p>Painted brickwork with poor quality patch repairs undertaken. Gable elevation to Hall Street is rendered and has had street art applied to full height of wall. Low quality terracotta concrete pantiles to roof with missing tiles adjacent to the gutter. UPVC gutters and downpipes are low in quality. Signs of structural movement to southern gable with diagonal cracking from the LHS window cill down towards the shopfront fascia. RHS first floor window stone lintel is also sloping, suggesting structural movement. All first floor windows have been replaced with casement UPVC windows. Stone cills may still be in-situ behind paintwork.</p> <p>Possible later 1930's brickwork shopfront with projecting concrete canopy with later contemporary shopfront design with sloping glazed façade and projecting canopy creates depth and visual interest to the street.</p> <p>Roller shutter has also been decorated with street art.</p>
<p>Monitoring Notes</p>	<p>Structural movement evident and should be investigated and/or monitored.</p>
<p>Recommended Actions</p>	<ul style="list-style-type: none"> • Paint removal to first floor level and brickwork repointed and repaired as required. • Remove UPVC windows to first floor level and replace with timber sash. • Replace terracotta concrete pantile roof with slate roof finish. • Replace UPVC gutters and downpipes with cast iron gutters/downpipes. • Remove all redundant cables, alarm boxes, light fittings, etc. • Contemporary shopfront reflects the brand of the tattoo studio and could contribute positively to the street.

Street:	Spring Bank	Address	Dot Dot U Fry House/ Wins Chinese & English Takeaway, 35
Photo from 2008 (Google maps)		Current Photo – 11/05/2023 (author)	
			
Building Notes	<p>Pre 1856 corner building likely to be built at the same time as the adjacent 33 Spring Bank. Originally built as a dwelling with generous front garden. Later converted to retail use. Building generally of low quality with limited historical features visible. First floor brickwork has been rendered (likely cement render) which is showing signs of cracking due to structural movement. Render has concealed historical features including decorative splayed lintels and stone cills. Render to side elevation above adjacent roof is cracking and dislodging which would suggest moisture is trapped behind the render.</p>		

	<p>Low quality terracotta concrete pantiles to roof. UPVC gutters and downpipes are low in quality and are sagging, likely due to lack of maintenance and build up of debris. Signs of structural movement with LHS first floor window stone lintel sloping. All first floor windows have been replaced with casement UPVC windows.</p> <p>No evidence of historic shopfront although this may be concealed behind fascia sign. Shopfront has been built out using blockwork which would suggest late 1990's installation. Limited depth of vinyl fascia sign with strip lighting above to full extent of sign. Roller shutter beneath fascia sign.</p>
Monitoring Notes	<p>Structural movement evident and should be investigated and/or monitored. Render to side elevation is dislodging and could cause health and safety risk. Removal of original stone cills and lintels to be avoided as last remaining elements from original design.</p>
Recommended Actions	<ul style="list-style-type: none"> • Cement render removal to first floor level and brickwork repointed and repaired as required. • Remove UPVC windows to first floor level and replace with timber sash. • Replace terracotta concrete pantile roof with slate roof finish. • Replace UPVC gutters and downpipes with cast iron gutters/downpipes. • Remove all redundant cables, alarm boxes, light fittings, etc. • Replace low quality shopfront with new shopfront and remove roller shutter.

Street:	Spring Bank	Address	OHO Eastern European Food Store, 37 Spring Bank
Historic Photo from 2008 (Google Maps)		Historic Photo from 2016 (Google Maps)	
			
Current Photo – 11/05/2023 (author)		Current Photo – 11/05/2023 (author)	
			



Building Notes	Pre 1856 building, likely built at the same time as the adjacent No 39 Spring Bank. Originally residential use over two floors with generous front garden. Later converted to retail use on the ground floor with residential above. Likely to be originally brickwork construction with windows to match adjacent No 39. Two original windows later removed and replaced with one large window with horizontal proportions which is out of keeping with the style and character of the Conservation Area. First floor was render to conceal the repaired brickwork following replacement of two vertical sliding sashes with a single large UPVC casement window. It is possible that the earlier lintels are concealed behind the render. Originally chimneys and chimney pots still in-situ. Render appears to be cement render which will cause long term damage to the historic brickwork by holding moisture within the brickwork. Large vinyl fascia signage with modern metal framed shopfront with double doors and side door providing access to first floor residential unit. Modern grey brick stall riser. Earlier photo from 2008 shows that a historic awning was still in situ at this time, but was removed in 2016 when the 1970's shopfront was removed. Terracotta coloured concrete pantile roof finish with low quality UPVC gutters and downpipes. Limited historical features visible to external walls. Generally low in quality and does not contribute positively to the Conservation Area.
Monitoring Notes	Existing treatment has no historical features retained. Should the fascia sign be removed in the future, investigations should be undertaken to establish if any remnants of the earlier shopfront have been retained. Building has a negative impact on the Conservation Area and any works that would improve the external appearance would be supported. Chimneys to be retained.
Recommended Actions	<ul style="list-style-type: none"> • Remove cement render to external walls at first floor, repair brickwork and repoint as required. • Remove existing Replace UPVC window to first floor and reinstate vertically proportioned sliding sash windows. • Remove terracotta concrete pantiles and replace with slate roof finish. • Remove UPVC gutters and replace with new cast iron. • Reduce size of fascia sign and remove vinyls to glazing to improve visibility into unit..

Street: Spring Bank	Address: Caspian, 39 Spring Bank
Historic Photo from 2008 (Google Maps)	Historic Photo from 2016 (Google Maps)
 <p>A photograph of a two-story white brick building with a red and blue storefront. The sign above the entrance reads "ROSE TAKE AWAY" in large, colorful letters. Below the sign, there are smaller signs for "KORAN - PIZZ - FRESH CHICKEN - BURGERS". The entrance has blue double doors and a white door to the right. The building shows signs of age and wear.</p>	 <p>A photograph of the same building from 2016. The storefront is now red and black. The sign above the entrance reads "The Fine TakeAway Co." in gold lettering. Below the sign, there are smaller signs for "KORAN - PIZZ - FRESH CHICKEN - BURGERS". The entrance has a red roller shutter door and a red door to the right. The building shows signs of age and wear.</p>
Current Photo – 11/05/2023 (author)	Current Photo – 11/05/2023 (author)
 <p>A photograph of the building from 2023. The storefront is now black and white. The sign above the entrance reads "Caspian" in large, white letters. Below the sign, there are smaller signs for "STONE BAKED PIZZA", "PASTA", "WRAPS", "GYROS", "BURGERS", "GREEK AND ITALIAN CUISINE", and "SOUVLAKI". The entrance has a black roller shutter door and a black door to the right. A green bin is visible in front of the building.</p>	 <p>A photograph of the building from 2023, taken from a different angle. The storefront is now black and white. The sign above the entrance reads "Caspian" in large, white letters. Below the sign, there are smaller signs for "STONE BAKED PIZZA", "PASTA", "WRAPS", "GYROS", "BURGERS", "GREEK AND ITALIAN CUISINE", and "SOUVLAKI". The entrance has a black roller shutter door and a black door to the right. A green bin is visible in front of the building.</p>

Building Notes	Pre 1856 building, likely built at the same time as the adjacent No 37 Spring Bank. Originally residential use over two floors with generous front garden. Later converted to retail use on the ground floor with residential above. Original timber sash windows have been removed and window to RHS increased in width (whilst retaining narrower stone lintel) and supported by timber lintel below. Replacement RHS window is of horizontal proportions which is out of character for the Conservation Area. Brickwork has been painted to conceal alterations to windows. First floor windows replaced with UPVC casement windows. Terracotta coloured concrete pantile roof finish with low quality UPVC gutters and downpipes. Stone lintels retained in situ but visually incongruous due to later widening of the RHS window. The ground floor shop front comprises of a large sloping boxed-in fascia surround which may be concealing remnants of the earlier shopfront fascia and cornice behind although the 2016 . Modern metal framed shopfront with external roller shutter above. Low quality timber door to apartment above. Original chimneys and chimney pots retained.
Monitoring Notes	Timber lintel supporting widened window opening does not appear to be sufficient to support load from the roof structure. Recommend structural survey to assess. Any works to remove existing modern fascia should be undertaken with care as it may conceal the historic shopfront behind. Chimneys and chimney pots to be retained.
Recommended Actions	<ul style="list-style-type: none"> • Strip paint from brickwork. • Reinstate original window proportions and undertake structural works to ensure sufficient support to roof structure above. • Repoint and repair brickwork following paint removal and window removal. • Replace both UPVC upper floor windows with timber sliding sash windows. • Remove modern signage fascia and investigate retained elements of historic shopfront behind. • Reduce fascia signage depth. • Remove external metal roller shutter and boxing. • Remove terracotta concrete tiles and replace with new slate tiles. • Remove UPVC gutters and downpipes and replace with new cast iron.

Street: Spring Bank	Address: VACANT, 41 Spring Bank
Historic Photo from 2008 (Google Maps)	Historic Photo from 2014 (Google Maps)
	
Current Photo – 11/05/2023 (author)	Current Photo – 11/05/2023 (author)
	

Building Notes	Pre 1856 building, likely built at the same time as the adjacent No 43 Spring Bank. Built originally as a two storey residential dwelling with ground and first floor bay window. Later converted to retail at ground floor with residential use above. Bay window retained to the first floor level only. Structural diagonal crack to RHS of bay window would suggest structural movement, possibly caused by insufficient support for bay window provided at ground floor shopfront, causing vertical movement of bay window. 2008 photo shows the earlier timber casement windows. Windows to bay window have been replaced with low quality UPVC windows and UPVC fascias. Brickwork external walls with painted finish. Depth of modern fascia would suggest that the earlier shopfront may be concealed behind modern box-out and fascia. External roller shutter and strip lighting incorporated into modern fascia. Low quality timber door to first floor apartment. Slate roof finish in reasonable condition.
Monitoring Notes	Bay window appears to be causing structural movement to the LHS of the bay. Any removal of existing fascia and shopfront to be undertaken carefully incase historic shopfront details are concealed behind.
Recommended Actions	<ul style="list-style-type: none"> • Remove paint finish to brickwork and repoint brickwork. • Replace UPVC windows to bay window should be replaced with timber sash windows and timber eaves fascias. • Investigate potential for remnants of historic shopfront behind later signage fascia. • Remove external roller shutter. • Replace low quality timber door to first floor apartment.

Street:	Spring Bank	Address	VACANT, 43 Spring Bank
Historic Photo from 2008 (Google Maps)		Current Photo – 11/05/2023 (author)	
			
Building Notes	<p>Pre 1856 building, likely built at the same time as the adjacent No 41 Spring Bank. Originally residential use over two floors with generous front garden. Later converted to retail use on the ground floor with residential above. Originally built with bay window to ground and first floor, later removed in its entirety. Poor quality brickwork repairs to infill brickwork below new UPVC window. Brickwork has been painted to conceal brickwork repairs. Poor quality plywood fascia over head of bay window. No evidence of earlier shopfront. In 1987 an application was made to install a new shop front. Late 1990's shopfront comprising of brickwork stallriser and pier with timber framed windows. External roller shutter. Concrete pantile roof with low quality UPVC gutters and rain water goods.</p>		
Monitoring Notes	<p>Signs of structural movement in the right-hand corner possibly caused by lack of sufficient structural support following removal of bay window.. Chimney has been reduced in height and rendered.</p>		
Recommended Actions	<ul style="list-style-type: none"> • Remove roller shutter • Remove signage fascia to investigate potential for remnants of earlier shopfront fascia or cornice. • Remove paint from brickwork. 		

- Remove UPVC window and re-proportion window opening. Remove projecting sign and redundant cables.

Street:	Spring Bank	Address	Pawprint Pet Shop, 45 Spring Bank
Historic Photo taken 1983 (Phil Hampel)		Historic Photo taken 1983 (Phil Hampel)	
			
Historic Photo from 2008 (Google Maps)		Historic Photo from 2014 (Google Maps)	
			
Current Photo – 11/05/2023 (author)		Current Photos – 11/05/2023 (author)	



<p>Building Notes</p>	<p>Pre 1856 building, likely built at the same time as the adjacent No 41 and 43 Spring Bank. Original designed as residential property with generous front garden, later converted to retail at ground floor level in the early 1900's/ 1983 photo shows red brick external walls to the first floor level with painted finish, later rendered. Slate roof finish.</p> <p>Original shopfront details including console brackets, cornice, and pilasters with plinths retained. Original stained glass fanlight with corner details, decorative tiled threshold and cast iron archway detail to the original dwelling front door retained. Low quality timber door to first floor apartment. Early 1900's shopfront shown in the 1983 photographs with recessed door has been removed and replaced with new timber shopfront with external roller shutter. Bay window to first floor retained but earlier timber windows replaced with UPVC windows. Traditional awning still in situ.</p>
<p>Monitoring Notes</p>	<p>This shop front is one of the last remaining shopfronts from the early 1900's and should be retained in situ. Stained glass fanlight, tiled threshold and decorative cast iron arched details to be protected from removal.</p>

**Recommended
Actions**

- Remove roller shutter and signage.
- Remove redundant services, wires and signage.
- Replace front door to first floor apartment.
- External render likely to be cement render. Recommend removal due to risk of render holding moisture within the brickwork.
- Protect the building from the removal of the existing retained historical features outlined above.
- Reinstate historic shopfront design and proportions.

Street: Spring Bank	Address: 47, 49, 51 Spring Bank
Existing elevation from the 1988 planning application to convert the three buildings to 17 apartments (Ref 88/00344/PF)	Proposed elevation from the 1988 planning application to convert the three buildings to 17 apartments (Ref 88/00344/PF)
 <p style="text-align: center;">EXISTING FRONT ELEVATION</p>	 <p style="text-align: center;">PROPOSED FRONT ELEVATION</p>
Historic Photo taken 1995 (Phil Hampelnell)	Current Photo
	

Building Notes	<p>Dating from the early 1800's this group of three storey residential properties were one of the earliest residential blocks built on Spring Bank. Built over four floors, the elevated ground floor level with its grand stone steps and tall recessed front door was the principle entrance level with the basement used as servants quarters and kitchens. Bedrooms and dressing rooms would have occupied the second and third floor level.</p> <p>A 1988 application to convert the three buildings illustrates that No 47 had by this time, been converted to retail use at ground floor level, with a new shopfront installed with access at street level. The horizontal fascia to No 49 would suggest that this had also been converted to retail and the fascia or shopfront structure has been retained and concealed. In 1988 an application was approved to convert the three buildings into 17 self-contained apartments. The works included in the application was the replacement of all windows with UPVC windows, re-roofing with fibre cement slates, new PVC gutters, new rooflights, new rain water goods and the infill of former shopfronts and re-ordering of the elevation for residential use. The infill of the former shopfronts has resulted in the cement rendering of the ground floor level to conceal the infill. The proportions of the new ground floor windows are out of scale with the upper floor levels and would have originally been much taller windows when originally built as a residential property. The approved application in 1988 shows that a number of details have not been executed in the final works with the decorative brackets and cornice missing from the doors and the splayed lintel detail missing from the ground floor and basement level windows. Although the brickwork and stone lintels and cills have been retained to the upper floors, the lack of execution of the details and the installation of low quality materials including UPVC windows, fibre cement slates and PVC rainwater goods has led to the loss of historic quality and character. The ground floor treatment is particularly of poor quality and would benefit from works to improve its appearance and character. The highly decorative railings installed in the 1990's are Victorian in style and don't compliment the restrained style of the original Georgian properties. To the rear of the properties, the building has lost all of its historic character with a cement rendered finish, UPVC windows and a rear extension that has led to the loss of the earlier curved bay window.</p>		
Monitoring Notes	Any proposed works that involve damage to existing brickwork and stonework to either front or rear elevation to be avoided.		
Recommended Actions	<ul style="list-style-type: none"> • Improve the quality of detailing at ground floor and basement level. • Replace UPVC with timber framed 6 over 6 sash windows and increase the proportions of the ground floor windows. • Replace PVC rainwater goods with cast iron. • Replace fibre cement roof slates with slate roof tiles. • Replace the railings with those that suit the Georgian style of the building (see 53 Spring Bank). 		
Street:	Spring Bank	Address	Disc Discovery Record Store, 53 Spring bank

Historic Photos taken 18 05 1995 (by Phil Hampelnell)



53 and 55 Spring Bank



55 Spring Bank

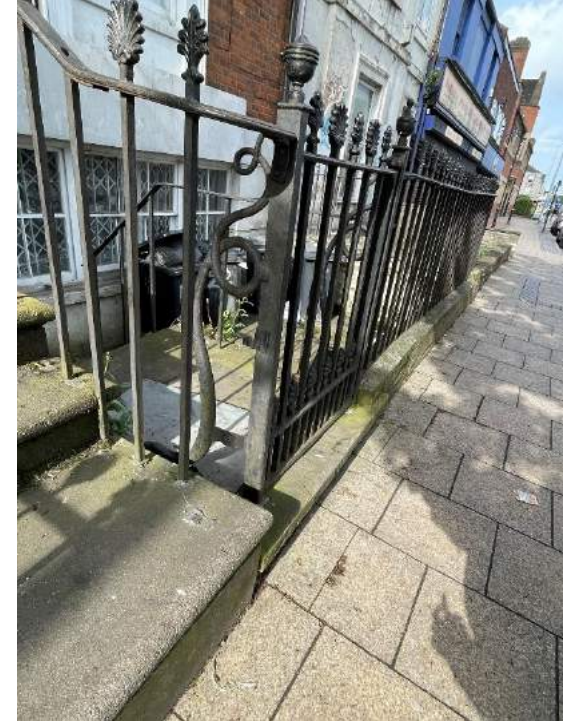
Historic Photo taken 18 05 1995 (by Phil Hampelnell)



Current Photos – 11/05/2023 (author)



Current Photos – 11/05/2023 (author)



Building Notes	No 53 and 55 were built at a similar/slightly earlier time as the adjacent 47, 49 and 51 Spring Bank and date from C1830. 53 and 55 are Grade II Listed buildings, Listed as a group and form a wider group with No 47,49 and 51, having similar scale, proportions and detailing. Originally designed as grand four storey residential properties with an elevated ground floor reception level, basement service and kitchen accommodation and two floors of bedroom/dressing room areas, these properties still retain their original details and features. The ground and basement levels have been used as retail use with Disc Discovery in No 53 and 55 Antiques at No 55. Retained details include single glazed timber sash windows (to both front and rear elevation), splayed stone lintels and stone cills to all windows, decorative timber architrave and cornice entrance with panelled recessed doorway and panelled door. The original stone steps and iron railings with the decorative serpent support bracket have also been retained. Chimneys and decorative chimney pots still retained.
Monitoring Notes	In reasonable condition but would benefit from some localised repairs. Base of timber architrave to main entrance doors showing signs of decay and would benefit from localised repair to avoid further degradation of original details. Staining and moss growth to the projecting cornice of the entrance doors and ground floor windows would suggest that water is not being shed from the building and could cause increased rate of deterioration.
Recommended Actions	<ul style="list-style-type: none"> • Remove redundant cables, signs, lighting etc • Remove fascia sign to No 55 Basement to reveal original stucco. • Rationalise signage to No 53. • Install/reinstate lead flashing to projecting cornice details to entrance doors and window head. • Redecorate ironwork. • Undertake localised timber repairs to existing sash windows and redecorate. • Repair stonework to steps and low level boundary wall. • Repair stucco where damaged to basement (LHS) of No 53.

Street: Spring Bank	Address: 57 Spring Bank (vacant)
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Historic Photo from 2008 (google maps)

Current Photo – 11/05/2023 (author)





Building Notes

Dating from before 1856, 57 Spring Bank was built as a two storey residential property with a front garden providing privacy from the street. The full height architrave to the ground floor window would suggest that this was originally a full height window or door leading onto the front garden. Slate roof to front of the property with PVC rainwater goods. Roof to the rear of the property is in very poor condition having been extended on multiple occasions using a variety of materials. Later addition rear extensions have led to the substantial loss of the large rear garden to the former residential property. A planning application was submitted and approved in 2004 (Ref. No 04/00952/COU) to convert the building from two apartments into a single dwelling which was approved.



	<p>A later application in 2005 (Ref : 05/00263/FULL) to approve the previously installed UPVC windows to the front elevation was refused but the UPVC windows are still retained. The uPVC windows installed without permission are inappropriate in terms of proportion and have a detrimental impact on the overall quality of the building. The 2008 google maps image shows that the original timber panelled door and decorative fanlight which has since been replaced with a new composite/uPVC door and fanlight. The cement render applied in the late 1900's / early 2000's over the original brickwork is now delaminating and cracking substantially, likely to be caused by moisture within the brickwork trapped behind the render. The gutter appears to be blocked and sagging due to a build up of debris which is causing water to accumulate and cause damage to the LHS of the front elevation. The stone window cill to the top LHS window is spalling, likely to be exacerbated by the blocked gutter above. Externally the loss of the railings to the building perimeter and the low quality landscape treatment have a further detrimental impact on the setting of the Conservation Area.</p>
<p>Monitoring Notes</p>	<p>Building at risk of continued degradation if intervention is not undertaken in the short term. Structural movement evident that needs to be monitored. Recommend further investigation of the rear of the property where extended and adapted and appears to be of low quality/dilapidated condition. Removal of later addition extensions to the rear of the property would be supported to allow the creation of a rear garden to the residential property.</p>
<p>Recommended Actions</p>	<ul style="list-style-type: none"> • Remove cement render, undertake brickwork and stonework repairs and either retain brickwork or replace render with lime render system to prevent moisture build up in wall construction. • Remove UPVC windows and replace with new timber sliding sash windows to first floor and new door or full height window to ground floor. • Remove existing PVC rainwater goods and replace with new cast iron gutters and downpipes. • Reinstate timber panelled door and fanlight over to original design. • Reinstate railings to front garden (low level brickwork plinth to be retained and repaired)

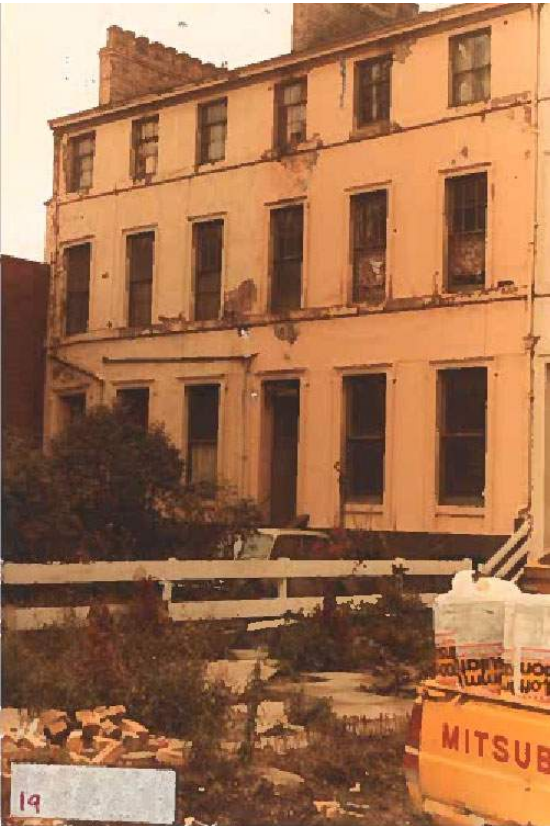


Street: Spring Bank	Address 59 Spring Bank, Hing Long Hong Food Supplies
Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)
	
Building Notes	<p>Dating from before 1856, this two storey building was originally built as a residential property but was later converted to retail use. Originally designed as a group with the adjacent No 57 Spring Bank, forming a 5 bay frontage with 3 projecting bays. The main entrance to the property would have been within the recessed bay, as the adjacent No 57 Spring Bank. Unlike No 57, this would have been a double bay fronted property, creating a classical symmetrical proportion to the group.</p> <p>No 59 has been substantially extended to the rear of the property leading to the complete loss of the large rear garden to the rear. and has kept the timber sash window. Cement rendered brickwork with blue painted finish to external wall fronting Spring Bank. Brickwork elevation to the rear of the original property still evident but substantially concealed by later extensions. Slate tiles to the front elevation and a variety of slate and asbestos roof sheeting to rear extensions. Early timber sliding sash windows to the front elevation retained. Cast iron gutters and fascia detail retained. It is likely that a central window would have been located at first floor within the recessed bay that has since been removed and blocked up.</p>

	<p>Change in paving finish would suggest that the boundary to the front of the property has changed to reduce the extent of external area associated with the property (unlike the adjacent No 57) to accommodate the lay-by at the front of the property.</p> <p>Building generally in reasonable condition, however, external roller shutters, large scale signage to the full extent of the property and blue paint colour have a detrimental impact on the Conservation Area.</p>
Monitoring Notes	<p>Check whether shop frontage is still utilised and opened or is access to the Wholesalers accessed mainly from Grey Street.</p> <p>Cement render showing no signs of deterioration but is causing damage to the brickwork behind.</p>
Recommended Actions	<ul style="list-style-type: none"> • Remove cement render, undertake brickwork and stonework repairs and either retain brickwork or replace render with lime render system (consistent with the adjacent No 57) to prevent moisture build up in wall construction. • Reinststate central window above recessed bay on first floor (as No 57) to reinststate the symmetrical façade. • If re-rendered in lime render, the colour/tone/finish should be the same as the adjacent No 57 Spring Bank so that the buildings read as a group. • Replace/paint gutters and fascias to be consistent with the adjacent No 57. • Remove large sign, shopfront, entrance doors and roller shutters and replace with new design that responds to the historic proportions of the building (with the main entrance door positioned centrally within the recessed bay and the projecting bays reflected in the shopfront design).

Street: Spring Bank	Address Cliff Pratt Cycles, 61 Spring Bank
Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)
	
Building Notes	<p>A C1950's infill building constructed following the demolition of 61, 63, 65, 67 and 69 Spring Bank and construction of the adjacent Deaf Institute built in 1926. Typical modernist details and proportions including horizontal proportioned windows grouped with cement rendered panels between to further emphasise the horizontal proportions, flat concrete roof and concrete details. Brown/red brick to first floor level and buff brickwork to ground floor level further emphasise the horizontal proportions. Later removal of original metal framed windows and the installation of UPVC windows to the first floor level have reduced the quality and integrity of the original 1950's façade. Flagpole bracket fixing retained above the central first floor window but flagpole now removed. A Change of Use application was submitted and approved in 2007 (Ref No. 07/00244/PCE) for change of use from retail to offices for CDP. The current tenants, Cliff Pratt Cycles, were established in 1934 and were previously based at No 84-86 Spring Bank before moving to the bigger premises at 61 Spring Bank following the closure of the CDP offices. The rear of the property has had a variety of</p>

	<p>extensions since its construction. Large timber boarded fascia sign with 3 No roller shutters behind dominates the frontage however the timber fascia successfully conceals the roller shutters behind. The level that the brickwork changes from buff to red/brown would suggest that the large timber fascia may be a later addition, installed to conceal the roller shutters behind. Ground floor shopfront responds to the proportions of the first floor windows with a central slightly recessed door and shop windows each side to create a symmetrical arrangement.</p>
Monitoring Notes	No immediate issues identified.
Recommended Actions	<ul style="list-style-type: none"> • Recommend replacement of uPVC windows to the first floor level and reinstatement with metal framed windows which would be more sympathetic and appropriate to the 1950's design. • Recommend removal of large fascia sign and external roller shutters to reveal the original fascia if in-situ. • Install internal grills to provide enhanced security to protect high value goods within.

Street: Spring Bank	Address Hull and East Yorkshire Centre for the Deaf
Historic Photos taken 18 05 1995 (by Phil Hampelnell)	Current Photo – 11/05/2023 (author)
	
Building Notes	<p>The Deaf Institute was established in 1853 in High Street in Hull as a charity to provide support for deaf people to provide an opportunity to meet regularly with other people who communicate using sign language. After the charity continued to grow, they relocated No 53 Spring Bank and bought a plot of land further along Spring Bank at 63 Spring Bank. Following the demolition of the previous properties, the new purpose built Deaf Institute was built and opened in 1926. The architectural style is distinctively Arts & Crafts, with high levels of natural daylight, horizontal proportions and a high level of craftsmanship that is synonymous with the Arts & Crafts style. The building is a locally listed building and retains its original character and details externally.</p>
Monitoring Notes	No issues identified. Building in very good condition and well maintained.
Recommended Actions	No recommendations at this time.

Street: Spring Bank	Address 71, 73, 75, 77, 79 and 81 Spring Bank	
Historic Photo taken 15/9/83 (by Phil Hampelnell)	Historic Photo taken 15/9/83 (by Phil Hampelnell)	Historic Photo taken 2005 (by Phil Hampelnell)
 <p>A photograph of a three-story terraced building in a state of significant disrepair. The facade is light-colored but heavily peeling and stained. The ground floor has several dark, empty doorways. In the foreground, there is a pile of rubble, a white fence, and a yellow container with the word 'MITSUB' visible. A small white sign with the number '19' is in the bottom left corner.</p>	 <p>A photograph of a row of white-painted terraced houses. The buildings are three stories high with multiple windows. The ground in front is dark and appears to be a garden or courtyard area with some overgrown vegetation and a dark fence.</p>	 <p>A photograph of a row of well-maintained terraced houses. The buildings are three stories high with white and light blue facades. The ground in front is a green lawn with a paved path leading to the entrances. A sign for 'ESTATE AGENTS' is visible on one of the buildings.</p>

Current Photo – 11/05/2023 (author)



Current Photo – 11/05/2023 (author)





Current Photo – 11/05/2023 (author)



Building Notes

No 73 to 81 (odd numbers only) date from pre 1856 and were originally designed as grand four storey three bay residential dwellings with elevated ground floor reception rooms and a grand staircase leading to the main entrance door and servants quarters at basement level. Viewed as a group of buildings constructed at the same time, the building line is set back much further than the Georgian residential properties further east to create much more generous gardens the front of the property whilst still maintaining large gardens to the rear. The block is designed as a symmetrical group with three left handed properties and three right handed properties with consistent window heights, proportions and details. The buildings are typically Georgian in style with simple linear decoration, tall proportions and restrained detailing. Chimney stacks to each property has been retained which break up the mass of the building at roof level. Slate roof finish throughout. In 1983 the buildings were in a poor state of repair with missing windows, failing render finish, damaged cornice details, poor quality boundary treatment between properties and the later installation of rainwater goods and drainage

	<p>systems that detracted from the historic proportions. In the late 1980's/early 1990's works were undertaken to restore the buildings including render repairs/replacement and rationalisation of the drainage system throughout the group. In the 1990's works were also undertaken to replace the first floor windows to 71, 73, 79 and 81 (possibly without permission) with Georgian style casement uPVC windows which were out of character with the buildings design. A further application was made later in 2005 to install replacement timber sliding sash windows to 71, 73, 79 and 81 (Ref. No: 05/01077/FULL) which was approved and are now installed. The installation of large fascia signs to no 75 and 79 are detracting from the character of the group. The current colour schampele to the render and decorative architraves has helped to homogenise the group and ensure that the group value is enhanced. The boundary treatment to the front gardens appears to have been undertaken in the 1980's using buff brickwork that is not in keeping with the Georgian style of the building.</p>
Monitoring Notes	No immediate risks identified at this time.
Recommended Actions	<ul style="list-style-type: none"> • Recommend painting the eaves fascia to No 77 black to homogenise the group visually. • Recommend painting the rain water downpipes a consistent colour to ensure the buildings read as a group. • Paint or re-render side gable elevation to No 81 which has been subject to graffiti.

Street: Spring Bank	Address: VACANT 83 Spring Bank
Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)
	
Building Notes	Former purpose built Natwest Bank dating from the 1950's/1960's. Typical modernist design details including dark grey brickwork plinth, flat concrete roof, concrete precast panels to side elevations and projecting curtain walling at first floor level. The horizontal proportions and low scale of the building are typical of the period and are in stark contrast the vertically proportioned Georgian buildings adjacent at No 73 to 81. The building frontage is set back in line with the adjacent No 81. The building is sat within a soft landscaped setting with a directional footpath leading to the main entrance. The buildings location at the corner of Spring Bank and Park Street and the siting of the building set back from the road gives it greater emphasis and is considered to be a visual corner landmark building.

	<p>Since the Natwest Bank closed between 2012-2015, the building has sat empty until more recently when the building was converted into the Spring Bank Mosque. The building today still retains the modernist proportions but the erection of a palisade fence to the perimeter has a detrimental impact on the character of the area.</p>
Monitoring Notes	<p>The palisade fence has a detrimental impact on the character of the Conservation Area and should be removed and replaced by a more appropriate form of security and boundary treatment. Boards to windows at ground floor level should be removed to reveal the original full height glazed screens.</p>
Recommended Actions	<ul style="list-style-type: none"> • Remove the palisade fence and replacement with new boundary treatment. This is considered a priority given the prominent position of the building on this key corner site. • Removal of boarding to ground floor windows to provide active frontage and to reveal the design of the building. • Redecorate of vertical support steelwork to first floor level.

Street:

Spring Bank

Address

Koomaadii Market, 91 Spring Bank

Historic Photo from 2009 (Google maps)

Current Photo – 11/05/2023 (author)



Current Photos – 11/05/2023 (author)



Building Notes

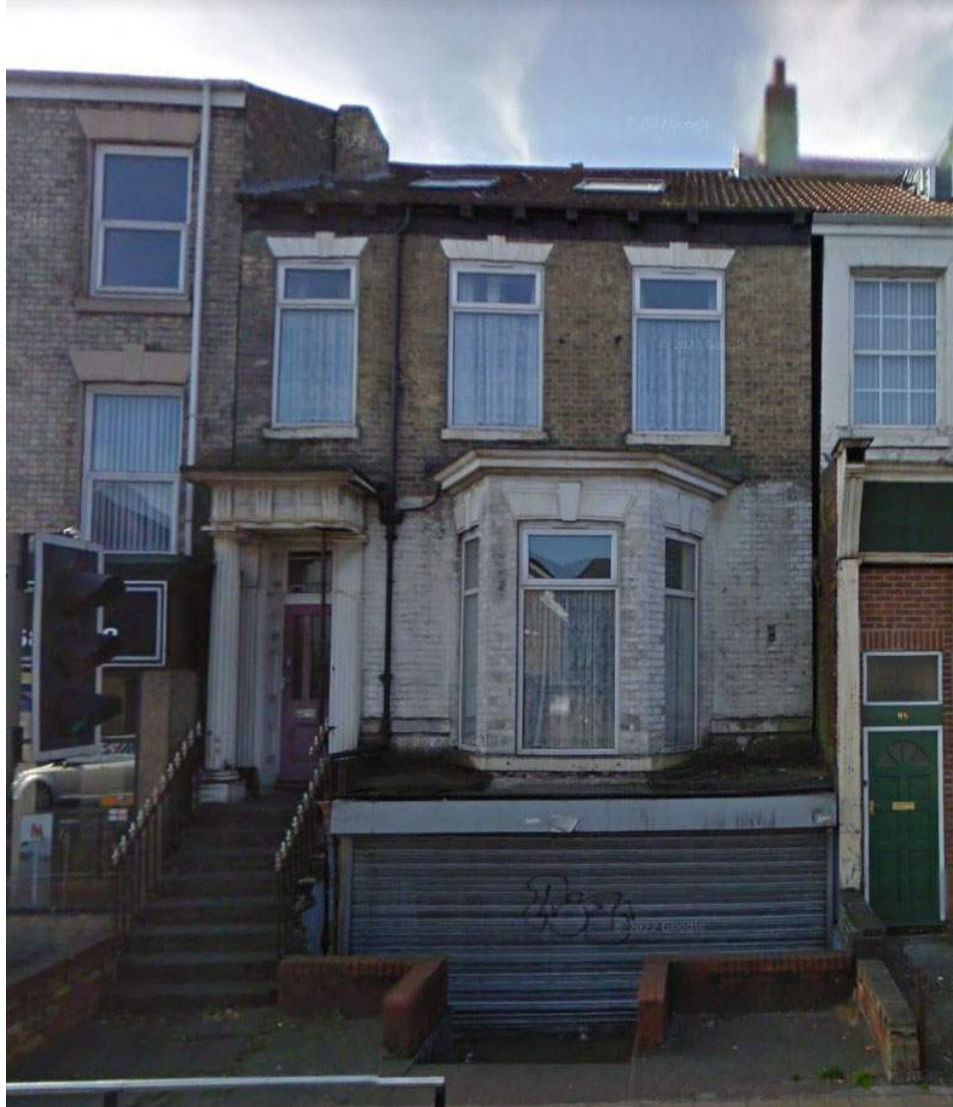
Built between 1956-1893 on the available corner site at the east end of Carlton Terrace, this three storey building comprises of buff brickwork elevations with decorative splayed stone lintel detail and stone cills to windows and a hipped roof form. Likely to have been built with retail at the ground floor level to maximise the opportunity for primary retail frontage following the rapid growth of Spring Bank in the late 1900's. Timber sash windows have been replaced with new UPVC casement windows that have a detrimental impact on the quality of the building. The ground floor shopfront was installed following a planning application in 1985 (Ref No 85/00499/PF). The different brickwork used on the side return of the shop frontage adjacent to the boundary with No 93 would suggest that the shopfront was extended out onto the street at a later date than the original building design. An application was made in 1994 (Ref No 94/00479/PF) to change the use of the first and second floors to shared accommodation for 7 students with a new entrance

	<p>door off Park Street. A later application to demolish the chimney stack, install new windows and convert the upper floors to 4No apartments (Ref No: 13/00068/FULL). Slate roof finish throughout with PVC rainwater goods.</p> <p>The ground floor retail unit has recently been decorated with street art to bring vibrancy to this primary street corner. The side elevation fronting Park Street is incohesive and lacks clarity in the treatment of windows and signage at ground floor level.</p> <p>This is considered a focal building as it is on a key corner at a primary junction with Park Street. The existing retail shop frontage is not considered to be appropriate for the character of the Conservation area. External roller shutters to the Park Street frontage further diminish the quality of the building.</p>
Monitoring Notes	The building is in reasonably good condition. No immediate action required.
Recommended Actions	<ul style="list-style-type: none"> • Replace PVC rainwater goods with cast iron. • Replace uPVC windows with timber sliding sash. • Reconfigure shopfront to respond more appropriately with the proportions of the windows above. • Remove roller shutters. • Remove deep signage fascia and reinstate with a more appropriate and refined signage fascia.

Street:	Spring Bank	Address	Vacant, 93 Spring Bank
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Historic Photo from 2009 (Google maps)

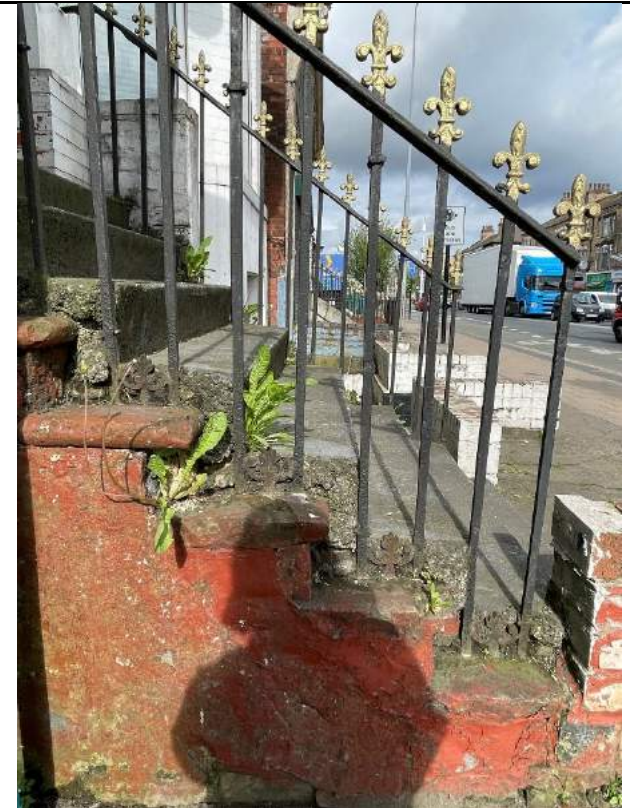
Historic Photo from 2013
(Hull Public Access Ref No: 13/00068/FULL)



Current Photo – 11/05/2023 (author)

Current Photo – 11/05/2023 (author)

Current Photo – 11/05/2023 (author)



Building Notes

Pre 1856 C1830's built as part of the group of three buildings that formed Carlton Terrace, one of the earliest residential terraces built on Spring Bank. Has similar details to No 53 and 55 Spring Bank including entrance canopy with ionic column supports, deep fascia and cornice and splayed stone lintels to windows. Originally built as a grand 3 storey dwelling with sunken front garden and stone steps leading up to raised ground floor level, later converted to retail use. The built out shopfront with the roller shutter shown in the 2009 photograph was later removed following a Planning Application to convert the dwelling and retail unit to 4 x 2 bed flats. The 2009 photo also shows that the RHS column was missing to the entrance porch. At this time the bay window to the basement level was rebuilt and the building converted back to residential use. The entrance door to the central bay window to the basement level looks incongruous and would have historically been located beneath the entrance step landing. The

	<p>replacement of windows with uPVC were also included in this application along with the replacement of the roof finish with terracotta coloured pantile roof tiles. The decorative brackets and timber fascia to the eaves have been retained or restored. Buff coloured brickwork finish now painted white with rendered finish to basement level. The original entrance door and fanlight appears to have been retained.</p> <p>The original stone steps have been overlaid with concrete (see photo). The low level boundary wall has been painted and the iron railings in the 2016 application have not been installed.</p>
Monitoring Notes	<p>Building is deteriorating due to lack of ongoing maintenance. Lack of gutter maintenance has led to plant growth in gutters, mould growth and spauling of brickwork is evident. Leadwork to projecting fascia appears to be missing or dislodged.</p>
Recommended Actions	<ul style="list-style-type: none"> • Remove paint from brickwork to allow brickwork to breath and to eliminate ongoing maintenance issue. • Replace uPVC windows with timber sliding sash windows. • Relocate basement entrance door to beneath entrance landing and replace door with sash window. • Remove concrete overlay to stone steps and repair stone steps as required. • Remove white paint from brickwork to boundary plinth, repair and install iron railings to basement apartment. • Replace roof finish with slate tiles. • Replace PVC rainwater goods with cast iron.

Street: Spring Bank

Historic Photo from 2009 (Google maps)



Address: Vacant, 95 Spring Bank

Current Photo – 11/05/2023 (author)



Current Photo – 11/05/2023 (author)



Current Photo – 11/05/2023 (author)



Current Photo – 11/05/2023 (author)



Building Notes

Pre 1856 C1830's built as part of the group of three buildings that formed Carlton Terrace, one of the earliest residential terraces built on Spring Bank. Has similar details to No 53 and 55 Spring Bank including splayed stone lintels to windows. Originally built as a grand 3 storey dwelling with sunken front garden and stone steps leading up to raised ground floor level (as No 93/97). Brickwork walls to first floor level with painted finish, likely buff brick to match No 93. Converted to retail use at ground floor in the late 1800's with bay window removed to ground and first floor level and the shop frontage extended out to provide glazed shop front with side door leading to upstairs accommodation. Late 1800's fascia, cornice, LHS pilaster and console brackets to shop front retained in situ. Brickwork to side return of shopfront extension is different to the brickwork to the main façade, suggesting that the brickwork infill to the shopfront was installed at a later date along with the side entrance door and external roller shutter. The building has been vacant since the early 2000's and is suffering

	<p>considerably from a lack of maintenance. The building has been subject to a number of Planning Applications to bring it back into use. In 1995 an application was made to revert the building back to a single dwelling. In 2014 an application to convert the property to self contained flats which included the removal of the shop front (whilst retaining the fascia, console brackets and cornice) was approved but has yet to be undertaken. A 2014 application to approve pre-commencement conditions for the works (Ref No. 16/00433/CONDET) refer to the approval of pre-commencement conditions including the provision of UPVC heritage style glazing to the upper floor levels. The building today is in need of considerable investment to protect it from further decay in the near future. The lack of gutter maintenance (likely due to the limited accessibility due to the extended shopfront) has led to extensive mould growth and debris build up to the gutters, causing water to build up at the eaves and the projecting shopfront roof.</p>
<p>Monitoring Notes</p>	<p>Building at risk. Lack of gutter maintenance has led to plant growth in gutters, mould growth spauling of brickwork. Leadwork to projecting fascia appears to be missing or dislodged.</p>
<p>Recommended Actions</p>	<ul style="list-style-type: none"> • Remove uPVC gutters and downpipes and replace with new cast iron. Review all rainwater goods and drainage system generally. • Remove the later addition brickwork, shopfront and roller shutter and replace with new shop front for retail or residential use. • Repair and restore the late 1800's fascia sign, corbel brackets and cornice. Repair missing pillaster detail to RHS. • Remove uPVC windows to first floor and remove boarding from central window and replace with new sash windows. • Remove paint from brickwork to eliminate ongoing maintenance issue and to allow the walls to breath. • Remove metal railings and build new low brick plinth and boundary treatment (particularly if residential use) to improve quality and create threshold to property.

Street: Spring Bank

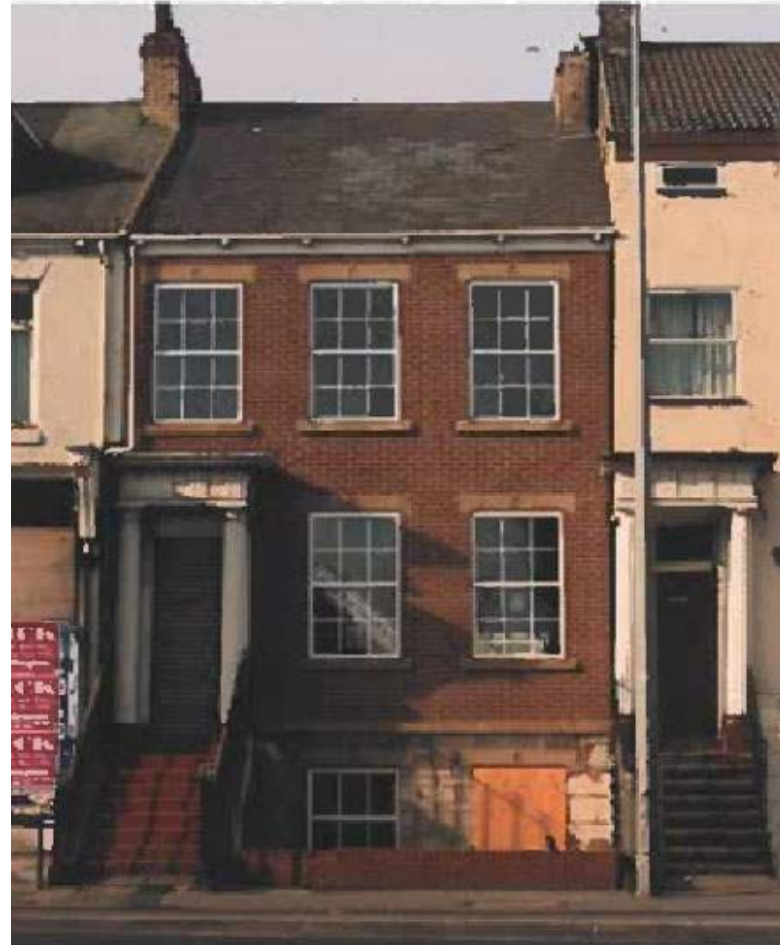
Historic Photo taken 1989 by Peter Marshall)



Address

97 Spring Bank

Historic photo taken in 1995 (Phil Hampel)



Current Photo – 11/05/2023 (author)



Current Photo – 11/05/2023 (author)



Building Notes

Dating from C1830, No 97 Spring Bank forms part of the group with No 93 and 95 Spring Bank adjacent and is a Grade II Listed building (along with the associated railings). Originally designed as residential use with a projecting curved front bay window to the basement, ground and first floor level (see 1989 photo), the building has undergone considerable changes that have been highly detrimental to the character of the listed building. An application in 1991 (Ref No. 91/00662/PF) for the conversion from residential to basement retail premises and offices to the upper floor level was submitted (outcome unknown). Extensive alterations were made in the early 1990's without consent which included the removal of the three storey curved bay windows and facing brickwork and replacement with new brickwork (likely required due to the extensive loss of external wall fabric following the removal of the bay window), yorkstone cills and lintels, replacement of all windows with UPVC in mock Georgian style, replacement of gutter, removal of railings to front section of boundary wall removal of existing door and replacement with new timber door. A subsequent retrospective application for Listed Building Consent was submitted in 1994 but subsequently refused. A further application was made in 2012 (Ref No

	12/00727/COU) for change of use from office to residential use which was approved. A planning enforcement notice was served in 2021 and is pending consideration.
Monitoring Notes	A general lack of maintenance continues to have a detrimental impact on what features of the historical fabric are retained. Blocked rainwater goods are causing extensive staining to the front elevation.
Recommended Actions	<p>Although the repaired façade has made some attempts to mimic Georgian style features, the choice of brickwork, the UPVC windows and the lack of reveal is considered inappropriate and would have originally have been buff brickwork when built as the adjacent 93 and 95 Spring Bank. The cumulative impact of these alterations has been highly detrimental to the character of this Listed Building.</p> <ul style="list-style-type: none"> • Recommend repairs to protect the projecting portico details which are degrading and require repair. • Restore and redecorate the iron railings that are showing signs of deterioration. • Remove vegetation from stone steps. • Repair stucco to basement which is showing signs of degradation. • Enhance the quality of the front garden through landscape finishes and planting.

Street: Spring Bank	Address	Latet Fashion Boutique, 99 Spring Bank
Historic photo taken in 1995 (Phil Hampel)	Historic Photo from 2009 (Google maps)	Current Photo – 11/05/2023 (author)
		
Building Notes	<p>Dates from pre 1856 as part of Carlton Terrace. Slightly taller than the adjacent 97 Spring Bank with accommodation within the roof space. Originally designed as a grand 3 storey dwelling, later converted in to retail use at basement level in late 1800's/early 1900's. Extensive 3 storey extension to the rear to form a second range. Brickwork facades with splayed brickwork lintel, now painted. Entrance portico with ionic columns and decorative frieze, timber raised and fielded entrance door and fanlight detail consistent with No 97 still retained and in reasonable condition although structural movement can be seen to the LHS gable causing the door frame to warp significantly. Original stone entrance steps and railings retained but overlaid with</p>	

	<p>concrete. First floor windows have been reduced in height by 450mm and stone cills removed. All windows replaced with uPVC casement windows with no depth to the reveal. No cills provided to first floor windows following the infill and reduction in window sizes.</p> <p>Earlier shopfront seen in photo from 1995 later removed and replaced with new modern shopfront with deep fascia and external roller shutter. Stone cills to first floor level windows concealed by new shopfront. Stucco detail applied to basement level walls following removal of earlier shopfront.</p> <p>Later addition windows to roof space accommodation don't appear to have lintels sufficient to take the load of the roof and there are signs of cracking and structural movement. Brickwork to LHS below the eaves has spalled considerably, possibly due to moisture being held behind the cement render to the side gable elevation adjacent or overflow from the adjacent roof gutter causing excessive damp in the brickwork. Low quality external landscape treatment and bin storage looks unsightly. Later addition foul water drainage systems installed following conversion to HMO has a detrimental impact to the appearance of the building.</p> <p>Terracotta coloured concrete pantile roof tiles with UPVC fascias, gutters and downpipes. Lack of care in the installation of drainage detracts from the character of the building.</p> <p>Record of planning applications is limited. A change of use application was submitted in 1998 (Ref No. 88/00741/PF) for change of use of first floor for renovation restoration and storage of furniture and artifacts. In 1995 an application was made to change the use from a single dwelling to shared student accommodation was submitted. In 2021 an application for lawful use of the building as a 9 bedroom HMO on ground, first and second floor level was submitted. The building is currently used as a HMO with retail unit to the basement level.</p> <p>The quality of the previously grand property has been lost through later interventions that have had a detrimental impact on the character of the building.</p>
Monitoring Notes	<p>Recommend structural survey to establish and monitor the extent of structural movement to the front entrance area and the third floor level windows due to signs of cracking where new windows have been installed. Brickwork deterioration to be monitored.</p>

**Recommended
Actions**

- Remove paintwork to brickwork and undertake brickwork repairs and lime repointing.
- Remove uPVC windows to first floor level to Spring Bank, reinstate original proportions of windows to the first floor, reinstate stone cills and replace with timber sash windows with depth to reveal of minimum 100mm.
- Remove uPVC windows to roof space accommodation and provide new rooflights to minimise visual impact on proportions to the street.
- Rationalise drainage system to foul drainage and relocate internally.
- Remove redundant cable routes and rationalise/conceal retained more discretely.
- Remove modern shopfront and external metal roller shutter and replace with more sympathetic timber shopfront.

Street:	Spring Bank	Address	Victory Social Care, 101 Spring Bank
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Historic Photo from 2008 (Google maps)	Historic Photo from 2015 (Google maps)	Current Photo – 11/05/2023 (author)	
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Building Notes	<p>Dating from pre 1856, the building was originally designed as a large residential property over four floors with large two storey bay window to ground and basement level. Exposed gable frontage which might suggest that the building marked the end of Carlton Terrace. Railings and stone steps to main entrance door have been retained and in good condition. New modern railings to front elevation.</p> <p>Windows to the upper floor levels are asymmetric in design and are not centred on the façade which is unusual for a building of this period. Originally exposed brickwork façade, later rendered finish to the main façade onto Spring Bank with keystone corner details. Photos from 2015 show extensive spalling to the brickwork and decorative brickwork frieze detail at second floor level adjacent to the rainwater outlets to the LHS and RHS of the gable.. The RHS western gable has had a substantial system of structural support added due to structural movement of the gable. The windows have been replaced on</p>
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	<p>a number of occasions and have more recently been replaced in 2017 with new timber sliding sash windows. The introduction of a central mullion to the bay window at ground floor level and the introduction of a low level infill to the bay window has had a detrimental impact on the proportions and appearance of the building.</p> <p>The building has been substantially extended on a number of occasions to the rear to respond to the changing uses over recent years. The building today occupies the majority of the rear garden with later addition extensions.</p> <p>The building has had a number of planning applications that reflect the continued change of use. In 1992 the ground and basement level were converted to a café/sandwich bar (ref No 95/01155/PF). In 2001 an application was made to change the building from office and shop to educational use (Ref No 01/00821/PF). In 2008 an application was granted to convert the building to two shops on the ground and basement level and create 6 apartments on the upper floors (Ref No. 08/01228/COU). In 2015 the building was converted to a respite health care centre which included external alterations, replacement windows to the front elevation and a new lift shaft (15/00425/FUL). In 2017 an application was made to retain the white rendered finish on the front elevation and reinstate profile detail to the windows (Ref No. 17/01138/FUL).</p>
Monitoring Notes	No immediate concerns identified.
Recommended Actions	<ul style="list-style-type: none"> • Redecorate iron railings in a more sympathetic colour schampele. • Dark blue paint colour to side gable and supporting structure (left over from blue and yellow colour schampele in 2008) dominates the street frontage. Would benefit from redecoration in a more subdued colour.

Street: Spring Bank	Address: Kwik Fit 103-105 Spring Bank
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Historic Photo from 2008 (Google maps)

Current Photo – 11/05/2023 (author)



Building Notes

The site was originally occupied by a Chapel that was built between 1956 and 1893. The Chapel was retained until the mid 1900’s and later demolished. The site was then redeveloped as a petrol filling station before an application was submitted in 1998 for the demolition of the existing PFS and the construction a new Kwik Fit garage. Approval was granted on the basis that the original forecourt canopy to the petrol filling station was retained (Ref No. 88/00500/PF).

The positioning of the building on the site and the single storey scale of the building in comparison to the adjacent 3-4 storey buildings is not considered appropriate and the building does not compliment the character of the Conservation Area. The large forecourt creates an inactive frontage to the street and creates conflict between pedestrians and vehicles accessing the site. The scale and positioning of the building also leaves the gables of the adjacent properties at 101 and 107 Spring Bank in view which do not contribute positively to the street.

Monitoring Notes

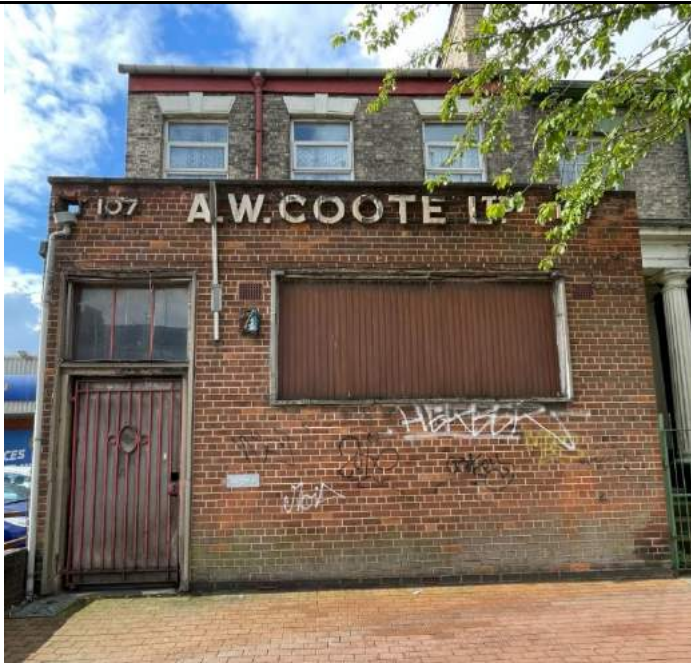
No immediate risks identified.

Recommended Actions	<ul style="list-style-type: none">• Enhanced landscape treatment to the boundary would help to reduce the visual impact of the garage to the street.• This site would benefit from future redevelopment to accommodate a new building that contributes positively to the character of the Conservation Area or to create a green space for the local area.
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Street:	Spring Bank	Address	A.W Coote Ltd Confectionary Wholesales, 107 Spring Bank (Vacant since 2008)
<p>Historic Photo in 1905 of No 109 with No 107 partially visible to the LHS (Hull Then and Now by Paul Gibson)</p>		<p>Historic Photo from 2008 (Google maps)</p>	



Current Photo – 11/05/2023 (author)



Current Photo – 11/05/2023 (author)



Current Photo – 11/05/2023 (author)






Building Notes



Built before 1856 likely to be C1830s due to similar details and features as Carlton Terrace adjacent to the east. Originally built as a grand 3 storey Georgian dwelling with buff brick external walls, vertically proportioned windows and splayed stone window heads and stone cills. Timber sash windows have been replaced with uPVC. Originally had a projecting bay window at ground floor level, later removed or adapted to extend the building to create a shop frontage. Shop front extension dates from C1930 with typical details of the time including the use of horizontal proportions to the windows and the use of concrete framing to door and window reveals. Terracotta pantile roof tiles to double pile pitched roof.

Various planning applications have been submitted for the property. In 2002 an application for change of use to hot-food takeaway (including the installation of extract equipment) was submitted (Ref No 01/00237/PF) (status unknown). In 2008 an application for change of use from cash and carry

	warehouse to women and childrens centre including the erection of a three storey extension to the rear was submitted and approved (Ref No 08/00586/COU).
Monitoring Notes	Has been vacant since 2008 but appears to be in reasonable condition. No immediate risks identified.
Recommended Actions	<ul style="list-style-type: none"> • Replace uPVC windows with timber sliding sash windows. • Potential to adapt the later 1930's shopfront to increase visibility into the retail unit or to remove the later shopfront and reinstate earlier residential use with ground floor bay window. • Remove terracotta concrete pantiles and replace with timber sliding sash. • Replace PVC gutters and rainwater goods with cast iron and reinstate decorative timber eaves brackets. • Remove pantile roof finish and reinstate with slate tiles.

Street: Spring Bank	Address Bulman Eric, 109 Spring Bank	
Historic Photo in 1905 (Hull Then and Now by Paul Gibson)	Current Photo – 11/05/2023 (author)	Current Photo – 11/05/2023 (author)
		
Building Notes	<p>Built in C1830, the building was originally designed as a large 2 storey dwelling with an elegant curved bay window to both ground and first floor level. Built as a group of five dwellings with No 107, 111, 113 and 115 adjacent. The external walls comprise of buff brickwork construction with decorative splayed stone window lintels and stone cills. The curved stone cills and lintels to the curved bay window give the building a sense of quality and elegance. The roof was originally slate with a dormer centred over the bay window and a rooflight centred over the entrance door. The elevated front door, stone steps, doric columns and entrance portico have all been retained in-situ today.</p>	

	<p>The ground floor level was later converted in late 1900's to office use and was home to a solicitors until 1904 when Wallis Butchers took over the tenancy. The earlier 1905 shopfront shown, in the early Victorian shopfront with the decorative corbel brackets, sloping fascia, cornice detail and decorative pilasters. Although the shopfront has undergone modernisation in the 1950's, some of these original features such as the fascia and cornice may still be insitu. The shopfront designs to No 109 forms part of a group with 111, 113 and 115 adjacent. Although the console bracket details have been removed, these have still been retained to No 115 Spring Bank which could be used as a template to reinstate tHampel to No 109. A decorative hanging bracket is still fixed to the RHS of the existing timber shopfront which could be a retained bracket used to hang the meat at the front of the butchers as shown in the 1905 photo. This could suggest that the original shopfront frame is retained in situ and has been adapted and partially concealed by the vertical timber cladding applied later. The proportion and location of the shop entrance door and fanlight is consistent with the 1905 photo whilst the fanlight may have been covered over with the timber panel.</p> <p>The slate roof tiles have been replaced with terracotta concrete pantiles. Cast iron rainwater goods are retained in situ along with the decorative timber eaves brackets and mouldings to the eaves.</p> <p>Unlike many of the early Georgian buildings on Spring Bank, No 109 has not been extended to the rear, enabling it to be converted back to residential use in the future. The building has also retained its timber sliding sash windows to the Spring Bank elevation, although the windows to the rear elevation have since been replaced by UPVC windows. Some windows to the rear elevation have been partially bricked up and reduced in size.</p>
Monitoring Notes	<p>No works to remove the existing shop front should be permitted as it may contain historic details behind existing fabric that could be retained and restored. Suggest further investigation to establish if reinstatement is feasible. Building is in reasonable condition with limited signs of degradation or any areas at risk, despite the ground floor being vacant for a number of years.</p>
Recommended Actions	<ul style="list-style-type: none"> • Potential to restore Victorian shopfront with limited work if the existing frontage is found to be still in place. • Remove later addition timber panelling to establish if the original shopfront is retained along with the fascia and cornice details. • Replace pantile roof with slate finish. • Reinststate corbel brackets (using 111 as a template) and pilaster details and repair/repoint brickwork.

Street:	Spring Bank	Address	Second hand power tools, 111 Spring Bank
Historic Photo from 2008 (Google maps)		Current Photo – 11/05/2023 (author)	
			
Building Notes	<p>Built in C1830, the building was originally designed as a large 2 storey dwelling with an elevated entrance door similar to the adjacent No 109. Built as a group of five dwellings with No 107, 109, 113 and 115 adjacent. The external walls comprise of buff brickwork construction with decorative splayed stone window lintels and stone cills. The roof was originally slate with cast iron rainwater goods and would have featured decorative timber eaves brackets.</p> <p>The ground floor level was later converted in early 1900's to retail use. The earlier 1905 shopfront shown in the photo for Wallis's Butchers (see No 109), shows a shopfront with decorative corbel brackets, sloping fascia, cornice detail and decorative pilasters. Although the shopfront has undergone modernisation in the 1950's, some of these original features such as the fascia and cornice may still be insitu. The shopfront</p>		

	<p>designs to No 111 forms part of a group with 109, 113 and 115 adjacent. Although console brackets are located above the pilaster between No 111 and 113, this is not thought to be the original corbel and is poor in detail and proportions. No 113, however, still has the original early Victorian console brackets in place and could be used as a template to reinstate the console brackets to No 111.</p> <p>The elevated front door, stone steps, doric columns and entrance portico have all been removed in early 1900's to facilitate the conversion to retail use to ground floor level. A separate door is provided within the new shopfront to provide access to the first floor level residential accommodation.</p> <p>The existing shopfront was installed in the 2000's and comprises of a slightly splayed shop front with a grey brick stall riser and panel with timber framed shopfront and an external roller shutter.</p> <p>Windows to the first floor level would have been 6 over 6 sliding sash windows (as the adjacent No 109). These have now been replaced with uPVC casement windows that do not respect the original window proportions. The brickwork has been painted which has concealed the decorative stone splayed window lintels and cills. Grey PVC gutters and downpipes have been installed to replace the earlier cast iron rainwater goods. The slate finish to the roof has been replaced with terracotta concrete pantiles.</p> <p>A Planning Application was submitted in 2007 to build a two storey extension to the rear which was approved. The more recent works have had a detrimental impact on the character of the property and do not contribute positively to the character of the Conservation Area.</p>
<p>Monitoring Notes</p>	<p>No works to remove the existing fascia should be permitted as it may contain historic details behind existing fabric that could be retained and restored. Suggest further investigation to establish if reinstatement is feasible.</p> <p>Building is in reasonable condition with limited signs of degradation or any areas at risk.</p>
<p>Recommended Actions</p>	<ul style="list-style-type: none"> • Potential to restore Victorian shopfront fascia, corbel brackets and pilasters with limited work. • Remove later addition timber panelling to establish if the original shopfront is retained along with the fascia and cornice details. • Replace pantile roof with slate finish. • Replace PVC gutters and rainwater goods with cast iron and reinstate decorative timber eaves brackets. • Reinststate corbel brackets (using 111 as a template) and pilaster details. • Remove paint from brickwork at first floor level to reveal historical details and repair/repoint brickwork.

- Replace uPVC windows with timber sliding sash.

Street: Spring Bank

Historic Photo from 2008 (Google maps)



Address Mr Barber, 113 Spring Bank

Current Photo – 11/05/2023 (author)



Building Notes

Built in C1830, the building was originally designed as a large 2 storey dwelling with an elevated entrance door similar to the adjacent No 109. Built as a group of five dwellings with No 107, 109, 111 and 115 adjacent. The external walls comprise of buff brickwork construction with decorative splayed stone window lintels and stone cills. The roof was originally slate with cast iron rainwater goods and would have featured decorative timber eaves brackets as No 109.

The ground floor level was later converted in early 1900's to retail use. The earlier 1905 shopfront shown in the photo for Wallis's Butchers (see No 109), shows a shopfront with decorative corbel brackets, sloping fascia, cornice detail and decorative pilasters. Although the shopfront has undergone modernisation in the 1950's, some of these original features such as the fascia and cornice may still be insitu. The shopfront designs to No 111 forms part of a group with 109, 113 and 115 adjacent. Although console brackets are located on both sides

	<p>of No 111, these are not original console brackets and are poor in detail and proportions. No 113, however, still has the original early Victorian console brackets in place and could be used as a template to reinstate the original console bracket designs to No 113.</p> <p>The elevated front door, stone steps, doric columns and entrance portico have all been removed in early 1900's to facilitate the conversion to retail use to ground floor level. A separate door is provided within the new shopfront to provide access to the first floor level residential accommodation.</p> <p>The existing shopfront was installed in the 1998 following an application (Ref No 98/00421/PF) and comprises of a metal framed shopfront with solid panels to the stallriser, double doors and an external roller shutter. A separate side entrance door is located the LHS of the shopfront.</p> <p>Windows to the first floor level would have been 6 over 6 sliding sash windows (as the adjacent No 109). These have now been replaced with uPVC casement windows that do not respect the original window proportions. The brickwork has been painted which has concealed the decorative stone splayed window lintels and cills. Grey PVC gutters and downpipes have been installed to replace the earlier cast iron rainwater goods. The slate finish to the roof has been replaced with terracotta concrete pantiles. Later addition dormer window is low in quality.</p> <p>A Planning Application was submitted in 2019 to convert the ground floor to restaurant and a HMO to upper levels (Ref No. 19/01685/E (Status : Pending)).</p> <p>The more recent works have had a detrimental impact on the character of the property and do not contribute positively to the character of the Conservation Area.</p>
<p>Monitoring Notes</p>	<p>Works to remove the existing fascia should not be permitted as it may contain historic details behind existing fabric that could be retained and restored. Suggest further investigation to establish if reinstatement is feasible. Building is in reasonable condition with limited signs of degradation or any areas at risk.</p>
<p>Recommended Actions</p>	<ul style="list-style-type: none"> • Potential to restore Victorian shopfront fascia, corbel brackets and pilasters with limited work. • Remove later addition timber panelling to establish if the original shopfront is retained along with the fascia and cornice details. • Replace pantile roof with slate finish. • Replace PVC gutters and rainwater goods with cast iron and reinstate decorative timber eaves brackets. • Reinstatement corbel brackets (using 111 as a template) and pilaster details. • Remove paint from brickwork at first floor level to reveal historical details and repair/repoint brickwork.

- Replace uPVC windows with timber sliding sash.

Street: Spring Bank

Historic Photo from 2008 (Google maps)



Address: Tazah restaurant and café, 115 Spring Bank

Current Photo – 11/05/2023 (author)



Building Notes

Built in C1830, the building was originally designed as a large 2 storey dwelling with an elevated entrance door similar to the adjacent No 109. Built as a group of five dwellings with No 107, 109, 111 and 113 adjacent. The external walls comprise of buff brickwork construction with decorative splayed stone window lintels and stone

cills. The roof was originally slate with cast iron rainwater goods and would have featured decorative timber eaves brackets as No 109.

The ground floor level was later converted in early 1900's to retail use. The earlier 1905 shopfront shown in the photo for Wallis's Butchers (see No 109), shows a shopfront with decorative corbel brackets, sloping fascia, cornice detail and decorative pilasters. Although the shopfront has undergone modernisation in the 1950's, some of these original features such as the fascia and cornice may still be in situ. The shopfront designs to No 111 forms part of a group with 109, 111 and 113 adjacent. No 115 has retained the early Victorian console brackets to both sides of the unit.

The elevated front door, stone steps, doric columns and entrance portico have all been removed in early 1900's to facilitate the conversion to retail use to ground floor level. A separate door is provided within the new shopfront to provide access to the first floor level residential accommodation.

The existing shopfront was installed in 2000 following an application (Ref No 00/00406/PF) for change of use to ground floor to public house and alterations to shopfront and comprises of a metal framed shopfront with solid panels to the stallriser, double doors and an external roller shutter. A separate side entrance door is located the LHS of the shopfront.

Windows to the first floor level would have been 6 over 6 sliding sash windows (as the adjacent No 109). These have now been replaced with uPVC casement windows that do not respect the original window proportions. The brickwork has been painted which has concealed the decorative stone splayed window lintels and cills. Grey PVC gutters and downpipes have been installed to replace the earlier cast iron rainwater goods. The slate finish to the roof has been replaced with terracotta concrete pantiles. Later addition dormer window to the full extent of the roof is low in quality.



The more recent works have had a detrimental impact on the character of the property and do not contribute positively to the character of the Conservation Area. Pre 1893, painted brickwork, terracotta pantiles, UPVC windows but had retained original console and cornice.

Monitoring Notes

Works to remove the existing fascia should not be permitted as it may contain historic details behind existing fabric that could be retained and restored. Suggest further investigation to establish if reinstatement is feasible. No works to remove the last remaining console brackets should be permitted as these are part of the original shopfront and provide a template for reinstatement of the Victorian shopfronts. Building is in reasonable condition with limited signs of degradation or any areas at risk.

**Recommended
Actions**

- Potential to restore Victorian shopfront fascia, corbel brackets and pilasters with limited work.
- Remove later addition timber panelling to establish if the original shopfront is retained along with the fascia and cornice details.
- Replace pantile roof with slate finish.
- Replace PVC gutters and rainwater goods with cast iron and reinstate decorative timber eaves brackets.
- Restore retained corbel brackets and reinstate the pilaster details.
- Remove paint from brickwork at first floor level to reveal historical details and repair/repoint brickwork.
- Replace uPVC windows with timber sliding sash.

Street: Spring bank	Address: Hull Contact Bridge Club, 117
Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)
	
Building Notes	Built in late 1800's between 1856-1893, the building was built as a group of three buildings with No 119 and 121 adjacent. The external walls comprise of a render finish with decorative architraves framing the upper floor windows. The roof was originally slate with cast iron rainwater goods and features a deep eaves overhang and decorative plaster cornice and frieze detail.



	<p>The ground floor level shopfront has retained the original console brackets and deep, expressed cornice. The pilasters have been adapted and the LHS pilaster reduced in width during the installation of the shopfront. The shopfront is a relatively modern timber framed shopfront with high level windows. It is likely that this was installed during the works in 2000 when an application was submitted for a change of use from Bingo Hall to use as the Head Quarters for the Bridge Association who are still based in the building (Ref No. 00/00406/PF). The deep signage fascia detracts from the quality of the original shopfront and should ideally align with the base of the retained console bracket. The ground floor shopfront has a recessed door with grey painted gates that are unsympathetic to the character of the building.</p> <p>Windows to the first floor level would have originally been sliding sash windows. These have now been replaced with uPVC casement windows that do not respect the original window proportions. The buildings within the group of 117, 119 and 121 are all painted in different colours which detracts from the collective aesthetic of the group. Black PVC gutters and downpipes have been installed to replace the earlier cast iron rainwater goods and the deep eaves overhang means that these become a dominant feature to the first floor level. The slate finish to the roof has been replaced with terracotta concrete pantiles. Later addition dormer window to the full extent of the roof is low in quality.</p> <p>The more recent works have had a detrimental impact on the character of the property and do not contribute positively to the character of the Conservation Area.</p>		
Monitoring Notes	<p>Works to remove the console brackets and cornice (and any remaining shopfront behind) should not be permitted.</p> <p>Building generally in good condition with no immediate risks identified.</p>		
Recommended Actions	<ul style="list-style-type: none"> • Replace gates with more suitable gates • Paint first floor elevation to 117, 119 and 121 with consistent colour to enhance the group aesthetic. • Remove uPVC windows and replace with timber sliding sash windows with consistent design to 117, 119 and 121. • Reduce depth of signage fascia to align with the base of the console brackets and install new signage. • Replace shopfront with a timber shopfront design that is more sympathetic to the building design. • Replace terracotta concrete tiles with slate. • Remove PVC gutters and downpipes and replace with new, decorative cast iron rainwater goods. • 		
Street:	Spring Bank	Address	E Addy and Co Estate Agents, 119
	Historic Photo from 2008 (Google maps)		Current Photo – 11/05/2023 (author)



Building Notes

Built in late 1800's between 1856-1893, the building was built as a group of three buildings with No 117 and 121 adjacent. The external walls comprise of a render finish with decorative architraves framing the upper floor windows. The roof was originally slate with cast iron rainwater goods and features a deep eaves overhang, and decorative plaster cornice and frieze detail.

	<p>The ground floor level shopfront has retained the original console brackets and deep, expressed cornice. The pilasters have been adapted and have lost their decorative detail. The shopfront is a relatively modern timber framed shopfront with curved frames at high level and a buff brick stall riser. It is likely that this was installed in the late 1990's/ early 2000's. The deep signage fascia detracts from the quality of the original shopfront and should ideally align with the base of the retained console bracket. External roller shutter has been added at a later date, covering the high level windows and arched window detail.</p> <p>Windows to the first floor level would have originally been sliding sash windows (as can be seen in the 2008 photo of 121 below). These have now been replaced with uPVC casement windows that do not respect the original window proportions. The buildings within the group of 117, 119 and 121 are all painted in different colours which detracts from the collective aesthetic of the group. Black PVC gutters and downpipes have been installed to replace the earlier cast iron rainwater goods and the deep eaves overhang means that these become a dominant feature to the first floor level. The slate finish to the roof has been replaced with terracotta concrete pantiles. Later addition dormer window to the full extent of the roof is low in quality.</p> <p>The more recent works have had a detrimental impact on the character of the property and do not contribute positively to the character of the Conservation Area.</p>
Monitoring Notes	<p>Works to remove the console brackets and cornice (and any remaining shopfront behind) should not be permitted.</p> <p>Building generally in good condition with no immediate risks identified.</p>
Recommended Actions	<ul style="list-style-type: none"> • Paint first floor elevation to 117, 119 and 121 with consistent colour to enhance the group aesthetic. • Remove uPVC windows and replace with timber sliding sash windows with consistent design to 117, 119 and 121 (as the 2008 photo of No 121). • Reduce depth of signage fascia to align with the base of the console brackets and install new signage. • Replace shopfront with a timber shopfront design that is more sympathetic to the building design and open up the shopfront to allow views in and increase active frontage. • Replace terracotta concrete tiles with slate. • Remove PVC gutters and downpipes and replace with new, decorative cast iron rainwater goods.

Street: Spring Bank	Address: The Launderette, 121 Spring Bank
Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)
	
Building Notes	<p>Built in late 1800's between 1856-1893, the building was built as a group of three buildings with No 117 and 179 adjacent. The external walls comprise of a render finish with decorative architraves framing the upper floor windows. The roof was originally slate with cast iron rainwater goods and features a deep eaves overhang and decorative plaster cornice and frieze detail.</p> <p>The ground floor level shopfront has retained the original console brackets and deep, expressed cornice. The pilasters have been adapted and widened and have lost their decorative detail. The shopfront is a modern metal framed shopfront with a red brick stall riser installed after 2008. The deep signage fascia detracts from the quality of the original shopfront and should ideally align with the base of the retained console bracket.</p> <p>Windows to the first floor level were originally sliding sash windows with a central vertical bead (see 2008 photo). These have now been replaced with uPVC casement windows that do not respect the original window</p>

	<p>proportions and detailing. The buildings within the group of 117, 119 and 121 are all painted in different colours which detracts from the collective aesthetic of the group. Black PVC gutters and downpipes have been installed to replace the earlier cast iron rainwater goods and the deep eaves overhang means that these become a dominant feature to the first floor level. The slate finish to the roof has been replaced with terracotta concrete pantiles. Later addition dormer window to the full extent of the roof is low in quality.</p> <p>The more recent works have had a detrimental impact on the character of the property and do not contribute positively to the character of the Conservation Area.</p>
Monitoring Notes	<p>Works to remove the console brackets and cornice (and any remaining shopfront behind) should not be permitted.</p> <p>Gutter appears to be blocked with debris and fungal growth which is causing the gutter to sag. This could lead to long term issues of water damage if not addressed in the short term.</p>
Recommended Actions	<ul style="list-style-type: none"> • Paint first floor elevation to 117, 119 and 121 with consistent colour to enhance the group aesthetic. • Remove uPVC windows and replace with timber sliding sash windows with consistent design to 117, 119 and 121 (as 2008 photo of 121 above). • Reduce depth of signage fascia to align with the base of the console brackets and install new signage. • Replace shopfront with a timber shopfront design that is more sympathetic to the building design and open up the shopfront to allow views in and increase active frontage. • Replace terracotta concrete tiles with slate. • Remove PVC gutters and downpipes and replace with new, decorative cast iron rainwater goods.

Street:	Spring Bank	Address	International Bargain Line Food Store/ Budgens, 123-129
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Historic Photo from 2008 (Google maps)



Current Photo – 11/05/2023 (author)



Building Notes

The former Cooperative store was built on this site between 1856-1893 but was later demolished. The existing building was built later in the early 2000's to provide larger scale retail units on Spring Bank and utilising the former gardens to the rear. The external elevations are a multi-tone grey brick with a concrete pantile roof finish and UPVC gutters. Although the window proportions reflect the vertical rhythm of the adjacent early Victorian properties, the window fenestration pattern is more modern with opening toplight casement windows. The fascia signage is excessively deep, dominating the façade (taking up 1/3 of the elevation). The glazing to the corner unit has had vinyl graphics applied that prevents views into the unit and does little to contribute to a vibrant active frontage. External roller shutter to Bugdens is concealed behind the signage. The International Food Store has an externally mounted roller shutter.

Monitoring Notes

No immediate risks identified.

Recommended Actions

- Reduce the extent of the fascia signage
- Improve visibility into the units by removing/reducing the extent of the vinyl
- Replace pantile roof finish with slate finish to reflect the traditional materials of the street.

Street: Spring Bank	Address	Crispy 'N' Fry, 129a Spring Bank
Historic Photo from 1903 (Hull Then and Now 3, Paul Gibson)		Historic photo from 1948 (Hull Then and Now 3, Paul Gibson)



Historic Photo from 2008 (Google maps)

Current Photo – 11/05/2023 (author)



Building Notes

Built between 1856-1893, No 129a was a later addition building added to the end of the adjacent Spring Bank terrace. This corner building is lower in scale than the adjacent terrace on Spring Bank and formed part of the






smaller scale residential scale the shops and terraced housing developed along Collingwood Street as can be seen in the 1948 photograph. The building was designed as a retail unit on the ground floor and a photographic studio on the first floor with the large scale windows providing lots of natural north light into the first floor studio. The photographer based in the studio was the photographer who took many of the historical photographs on Spring Bank featured in the 'Hull Then and Now' series. Access to the studio was via the arched doorway off Collingwood Street. The above photograph dated 1903 illustrates the original shopfront design with the door positioned on Spring Bank to the RHS and a traditional Victorian shopfront design with expressed pilasters, with decorative corbel brackets with cast iron spears, a fascia with a deep cornice and decorative ironwork wrapping around the corner and a brickwork stall riser. The roof finish was originally diamond slate roof tiles with cast iron gutters supported by decorative timber brackets. Decorative roof vents can also be seen on the later 1948 photograph. A iron mesh ventilation slot was provided around the perimeter of the shopfront allowing background ventilation into the shop unit. The first floor windows were split into equal panels with 9 panels to the Collinwood Street elevation and 12 panels to Spring Bank. A sign on the photograph shows that the terrace was known as 'Emporium Buildings'.

Between 1903 -1948 the building was occupied by Malories Ltd and has undergone significant changes that have eroded the quality of the building. The original shopfront was removed and the door relocated to the Collingwood frontage. Although the pilasters, fascia and cornice have been retained, the pilaster to the RHS of the Spring Bank frontage has been removed, exposing the cast iron rainwater downpipe. The decorative ironwork to the top of the fascia has been removed and a canopy has been added to the Spring Bank frontage. The shopfront has also been extended into the adjacent bay along the Collingwood Street frontage with an additional pilaster introduced (perhaps relocated from the Spring Bank frontage which is now missing). The corbel brackets have also been removed to the earlier shopfront (or relocated to the new pilaster position). The brickwork has also been painted by this time.

Since this time, a number of applications have been submitted that chart the various uses of the building in the late 1900's. In 1990 an application was made for change of use to a restaurant (Ref No: 90/006211/PF). A further application was made to convert to office use was also made in 1990 (ref No 90/00622/PF). In 1993 an application was made for change of use to a Fish and Chip Shop (Ref No : 93/00495/PF). The building is still in use as a Fish and Chip Shop today.

The building today has lost many of the original features with all of the shopfront features including the pilasters, console brackets and retractable canopy removed. The painting of the brickwork has concealed the texture of the brickwork. The decorative diamond slates have been removed to the roof and replaced with concrete

	<p>pantiles. The cast iron gutters and downpipes have been removed and the decorative gutter support brackets removed and the rainwater goods replaced with PVC. The shopfront has been replaced again with a metal framed shopfront with the door relocated to the Spring Bank frontage. The first floor windows have been replaced with new uPVC windows that do not reflect the proportions of the original design. The shopfront to the LHS of the first floor access door (which can be seen in the 1948 photograph) has been removed and the opening blocked up and rendered.</p>
Monitoring Notes	<p>There are limited historical features retained and there are no immediate risk items identified at this time. There is structural movement evident on the former shop unit to the LHS of the first floor entrance door that should be investigated.</p>
Recommended Actions	<p>This building is a key focal corner building on Spring Bank and would benefit from restoration. Although many of the original features have been removed, there is sufficient evidence in the remaining fabric and the photographic evidence to restore the building either in part or in its entirety. The following is suggested :-</p> <ul style="list-style-type: none"> • Removal of the paint from the brickwork, brickwork repair and repointing. • Replacement of the first floor uPVC windows with a design that reflects the original proportions. • Re-routing of the extract vents to the kitchen extract. • Replacement of the shopfront with a restored shopfront based on the earlier photographic evidence and the remaining features. Reinstatement of the pilasters, corbels, fascia and decorative ironwork to the top of the fascia. • Reinstatement of the shopfront to the rear unit on Collingwood Street. • Removal of the uPVC rainwater goods and fascia and the rationalisation of the drainage system generally. Replacement with cast iron gutters and downpipes and reinstate the decorative gutter support brackets based on the sockets/markings found beneath the fascia. • Remove the pantile roof and replace with decorative diamond slate finish.

Street: Spring Bank	Address Safin Café/ mado sweet, 131	
Historic Photo from 1903 (Hull Then and Now 3, Paul Gibson)	Historic photo from 1948 (Hull Then and Now 3, Paul Gibson)	
		
Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)	Current Photo – 11/05/2023 (author)
		

Building Notes

Built between 1856-1893, No 131 forms part of a group of 6 buildings along with No's 133, 135, 137, 139, 141 (called Emporium Buildings) which were built at the same time and with identical detailing and style. The terrace was originally built as three storey residential properties with front gardens that extended into the street (now demarcated by the change in paving treatment). As Spring Bank developed "from a suburban 'promenade' to a shopping 'centre', the gardens were removed and the ground floors converted to shops with new decorative shopfronts added. The bay windows were retained to the first floor level and dormer windows were located to the roof to provide accommodation within the roofspace.

The terrace was built with a buff brick external wall finish with a slate roof finish and decorative eaves brackets and fascia supporting a cast iron gutter. The photograph from 1903 shows the quality of the original shopfronts to Emporium Buildings with a sloping fascia, decorative pilasters and console bracket details, deep cornice and a low stall riser to maximise the views into the shops. Recessed doorways provided further opportunity for display of goods. All of the shopfronts along the length of the Emporium buildings had the same details and treatment, although the shop front design varied with some having doors to the left or right hand side of the unit. The above photo dating from 1948 shows that the shopfront to No 131 had a recessed door positioned to the RHS with vertical timber panelling lining the RHS. The 1903 photo also illustrates that No 131 had a retractable awning outside which was fixed back to the top of the fascia.

The building today has lost all of its historical features, although evidence is retained in the adjacent shopfronts along Emporium Buildings that would enable some or all of these features to be restored. The first floor bay window has been removed and replaced with a horizontally proportioned uPVC window. As this requires extensive brickwork repair, the buff brickwork has been rendered to conceal the brickwork repairs and the cement render has not been through coloured or decorated. The slate roof, cast iron gutter and decorative gutter brackets have been removed and replaced with terracotta concrete pantiles. The dormer windows have been removed and replaced with a rooflight. The 2008 image shows that the shopfront fascia, corbels and pilasters have all been removed.

No Planning Applications are on record for this property for any of the works undertaken as listed above.

Monitoring Notes

Staining of the cement render to the vertical edges (including the windows), particularly where it joins 129a and the gutter location would suggest that water is finding its way into the render (and the brickwork behind) which could cause long term damage to the brickwork. Recommend immediate action to have the render removed to avoid long-term damage.

Recommended Actions

As a group of buildings, the Emporium Buildings would benefit from a consistent approach with wholesale restoration of the facades. The following works are proposed to 131 in particular :-

- Remove cement render and restore brickwork
- Reinststate the bay window using the bay window to No 135 as a template for the details, dimensions and proportions.
- Remove the shopfront and reinststate the original shopfront design with corbels, pilasters, fascia sign, all consistent with the other buildings in the group.
- Reinststate the dormer window using the dormer window to 141 as a template.
- Remove the pantile roof finish and replace with slate.
- Replace the rainwater goods with cast iron and reinststate the decorative fascia's and gutter brackets based on the adjacent building.
- Replace the chimney pots with those matching the chimney to No 137.
- Consistent paint colour throughout the group to windows, gutter brackets and fascias.

Street:	Spring Bank	Address	Afro Food Lounge, 133
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Historic photo from 1948 (Hull Then and Now 3, Paul Gibson)	
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Historic Photo from 1903 (Hull Then and Now 3, Paul Gibson)

Historic Photo from 1905 (Hull Then and Now 3, Paul Gibson)

Historic photo from 1948 (Hull Then and Now 3, Paul Gibson)



Historic Photo from 2009 (Google maps)

Current Photo – 11/05/2023 (author)



Building Notes

Built between 1856-1893, No 133 forms part of a group of 6 buildings along with No's 131, 135, 137, 139, 141 (called Emporium Buildings) which were built at the same time and with identical detailing and style. The terrace was originally built as three storey residential properties with front gardens that extended into the street (now demarcated by the change in paving treatment). As Spring Bank developed "from a suburban 'promenade' to a shopping 'centre', the gardens were removed and the ground floors converted to shops with new decorative shopfronts added. The bay windows were retained to the first floor level and dormer windows were located to the roof to provide accommodation within the roofspace.

The terrace was built with a buff brick external wall finish with a slate roof finish and decorative eaves brackets and fascia supporting a cast iron gutter. The photograph from 1903 shows the quality of the original shopfronts to Emporium Buildings with a sloping fascia, decorative pilasters and console bracket details, deep cornice and a low stall riser to maximise the views into the shops. Recessed doorways provided further opportunity for display of goods. All of the shopfronts along the length of the Emporium buildings had the same details and treatment, although the shop front design varied with some having doors to the left or right hand, side of the unit. The above photo dating from 1905 shows that the shopfront to No 133 had a recessed door positioned to the LHS with vertical timber panelling lining the LHS.

The building today has lost some of its historical features, although evidence is retained in the adjacent shopfronts along Emporium Buildings that would enable some or all of these features to be restored. The first floor bay window has been retained. Although the glazing has been replaced with new double glazed timber framed windows, this has been executed sympathetically. A number of the dentil details to the cornice of the bay window require replacing. The slate roof, cast iron downpipe have been removed and the roof replaced with terracotta concrete pantiles. The timber gutter has been retained. The dormer windows have been removed and replaced with a rooflight. Remnants of the original shopfront fascia and cornice may have been retained behind the new signage.

Planning applications have been submitted in 2008 for the change of use from newsagent to café (Ref No : 08/01230/COU) and in 2014 an application for the installation of a new shop front and retention of the roller shutter was approved (Ref No 14/00350/FUL).

Monitoring Notes

No removal of structures behind the existing signage should be permitted to avoid removal of the last remaining remnants of the shopfront design.
No immediate risk items identified.

Recommended Actions

As a group of buildings, the Emporium Buildings would benefit from a consistent approach with wholesale restoration of the facades. The following works are proposed to 133 in particular :-

- Remove the shopfront and reinstate the original shopfront design with corbels, pilasters, fascia sign, all consistent with the other buildings in the group.
- Reinstall the dormer window using the dormer window to 141 as a template.
- Remove the pantile roof finish and replace with slate.
- Replace the rainwater downpipes with cast iron.
- Repair and restore the timber gutter and support bracket detail.
- Replace the chimney pots with those matching the chimney to No 137.
- Consistent paint colour throughout the group to windows, gutter brackets and fascias.

Street: Spring Bank	Address Hull Bakery, 135 Spring Bank	
Historic Photo from 1903 (Hull Then and Now 3, Paul Gibson)	Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)
		
Building Notes	<p>Built between 1856-1893, No 135 forms part of a group of 6 buildings along with No's 131, 133, 137, 139, 141 (called Emporium Buildings) which were built at the same time and with identical detailing and style. The terrace was originally built as three storey residential properties with front gardens that extended into the street (now demarcated by the change in paving treatment). As Spring Bank developed "from a suburban 'promenade' to a shopping 'centre', the gardens were removed and the ground floors converted</p>	

	<p>to shops with new decorative shopfronts added. The bay windows were retained to the first floor level and dormer windows were located to the roof to provide accommodation within the roofspace.</p> <p>The terrace was built with a buff brick external wall finish with a slate roof finish and decorative eaves brackets and fascia supporting a timber gutter. The photograph from 1903 shows the quality of the original shopfronts to Emporium Buildings with a sloping fascia, decorative pilasters and console bracket details, deep cornice and a low stall riser to maximise the views into the shops. Recessed doorways provided further opportunity for display of goods. All of the shopfronts along the length of the Emporium buildings had the same details and treatment, although the shop front design varied with some having doors to the left or right hand, side of the unit. The above photo dating from 1905 shows that the shopfront to No 135 had a recessed door positioned to the LHS with vertical timber panelling lining the LHS.</p> <p>The building today has lost some of its historical features, although evidence is retained in the adjacent shopfronts along Emporium Buildings that would enable some or all of these features to be restored. The first floor bay window has been retained with what appears to be the original timber framed single glazed windows. The slate roof has been replaced with terracotta concrete pantiles but the fascia, timber gutter and decorative gutter brackets have been retained. The dormer windows have been removed and replaced with a rooflight. Remnants of the original shopfront fascia and cornice may have been retained behind the new signage. The shopfront fascia to No 135 is particularly deep which would suggest that the earlier Victorian shopfront fascia may be concealed behind and potentially restored. External roller shutter.</p> <p>A number of planning applications have been submitted. In 1986 an application to change the use to a café was submitted (Ref No 86/00600/PF). In 2009 an application to change the use to hot food take away was submitted and approved (Ref No 09/01027/COU). A number of applications have also been made in 2009 and 2010 for the installation of a stair to provide separate access to the first floor level have been submitted and refused.</p>
<p>Monitoring Notes</p>	<p>No removal of structures behind the existing signage should be permitted to avoid removal of the last remaining remnants of the shopfront design. No immediate risk items identified.</p>
<p>Recommended Actions</p>	<p>As a group of buildings, the Emporium Buildings would benefit from a consistent approach with wholesale restoration of the facades. The following works are proposed to 135 in particular :-</p> <ul style="list-style-type: none"> • Remove the existing signage fascia and restore the earlier fascia and cornice details. • Remove the shopfront and reinstate the original shopfront design with corbels, pilasters, fascia sign, all consistent with the other buildings in the group.

- Reinststate the dormer window using the dormer window to 141 as a template.
- Remove the pantile roof finish and replace with slate.
- Replace the rainwater downpipes with cast iron.
- Repair and restore the timber gutter and support bracket detail.
- Replace the chimney pots with those matching the chimney to No 137.
- Consistent paint colour throughout the group to windows, gutter brackets and fascia's.

Street: Spring Bank	Address	Vacant, 137 Spring Bank
Historic Photo from 1903 (Hull Then and Now 3, Paul Gibson)	Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)
		
Building Notes	<p>Built between 1856-1893, No 137 forms part of a group of 6 buildings along with No's 131, 133, 135, 139, 141 (called Emporium Buildings) which were built at the same time and with identical detailing and style. The terrace was originally built as three storey residential properties with front gardens that extended into the street (now demarcated by the change in paving treatment). As Spring Bank developed "from a suburban 'promenade' to a shopping 'centre', the gardens were removed and the ground floors converted to shops with new decorative shopfronts added. The bay windows were retained to the first floor level and dormer windows were located to the roof to provide accommodation within the roofspace.</p>	

	<p>The terrace was built with a buff brick external wall finish with a slate roof finish and decorative eaves brackets and fascia supporting a timber gutter. The photograph from 1903 shows the quality of the original shopfronts to Emporium Buildings with a sloping fascia, decorative pilasters and console bracket details, deep cornice and a low stall riser to maximise the views into the shops. Recessed doorways provided further opportunity for display of goods. All of the shopfronts along the length of the Emporium buildings had the same details and treatment, although the shop front design varied, with some having doors to the left or right hand side of the unit. The above photo dating from 1948 shows that the shopfront to No 137 had a recessed door positioned to the RHS with vertical timber panelling lining the RHS. The 1903 photo also illustrates that No 137 had a retractable awning outside which was fixed back to the top of the fascia.</p> <p>The building today has lost many of its historical features, although evidence is retained in the adjacent shopfronts along Emporium Buildings that would enable some or all of these features to be restored. The first floor bay window has been removed and replaced with an inappropriately proportioned uPVC window. The brickwork repairs have been undertaken with red bricks which draws attention to the removed bay window and is poorly executed. The cast iron downpipe has been removed and the roof is a slate roof. The timber gutter has been retained. Unsightly vents have been installed at regular intervals across the roof. The dormer window has been removed and replaced with a rooflight. The sloping fascia sign to the existing shopfront would suggest that remnants of the original sign may be located behind the existing sign and is worth further investigation.</p> <p>A Planning Application was submitted in 2022 for the change of use of the 1st and 2nd floor to create a self-contained duplex flat. Alternations to ground floor facilitate creation of access to self-contained flats and installation of rooflights to the front and rear (Ref No 22/00686/FULL).</p>
Monitoring Notes	<p>Staining of the cement render to the vertical edges (including the windows), particularly where it joins 129a and the gutter location would suggest that water is finding its way into the render (and the brickwork behind) which could cause long term damage to the brickwork. Recommend immediate action to have the render removed to avoid long-term damage.</p>
Recommended Actions	<p>As a group of buildings, the Emporium Buildings would benefit from a consistent approach with wholesale restoration of the facades. The following works are proposed to 137 in particular :-</p> <ul style="list-style-type: none"> • Remove cement render and restore brickwork • Reinststate the bay window using the bay window to No 135 as a template for the details, dimensions and proportions. • Remove the shopfront and reinststate the original shopfront design with corbels, pilasters, fascia sign, all consistent with the other buildings in the group.

- Reinstall the dormer window using the dormer window to 141 as a template.
- Replace the rainwater downpipes with cast iron.
- Repair and restore the timber gutter and support bracket detail.
- Replace the chimney pots with those matching the chimney to No 137.
- Consistent paint colour throughout the group to windows, gutter brackets and fascia's.

Street: Spring Bank	Address	Yum Yum, 139
Historic Photo from 1903 (Hull Then and Now 3, Paul Gibson)	Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)
		
Building Notes	<p>Built between 1856-1893, No 137 forms part of a group of 6 buildings along with No's 131, 133, 135, 137, and 141 (called Emporium Buildings) which were built at the same time and with identical detailing and style. The terrace was originally built as three storey residential properties with front gardens that extended into the street (now demarcated by the change in paving treatment). As Spring Bank developed "from a suburban 'promenade' to a shopping 'centre', the gardens were removed and the ground floors converted to shops with new decorative shopfronts added. The bay windows were retained to the first floor level and dormer windows were located to the roof to provide accommodation within the roofspace.</p> <p>The terrace was built with a buff brick external wall finish with a slate roof finish and decorative eaves brackets and fascia supporting a timber gutter. The photograph from 1903 shows the quality of the original shopfronts to Emporium Buildings with a sloping fascia, decorative pilasters and console bracket details, deep cornice and a</p>	

	<p>low stall riser to maximise the views into the shops. Recessed doorways provided further opportunity for display of goods. All of the shopfronts along the length of the Emporium buildings had the same details and treatment, although the shop front design varied with some having doors to the left or right hand, side of the unit. The above photo dating from 1905 shows that the shopfront to No 137 had a recessed door positioned to the RHS with vertical timber panelling lining the RHS.</p> <p>The building today has lost some of its historical features, although evidence is retained in the adjacent shopfronts along Emporium Buildings that would enable some or all of these features to be restored. The first floor bay window has been retained and the windows replaced with UPVC windows. The slate roof, cast iron gutter have been removed and replaced with terracotta concrete pantiles but the fascia and decorative gutter brackets have been retained. The dormer windows have been removed and replaced with a rooflight. Remnants of the original shopfront fascia and cornice may have been retained behind the new signage. The shopfront fascia to No 137 is particularly deep and sloping which would suggest that the earlier Victorian shopfront fascia may be concealed behind and potentially restored. External roller shutter has been installed.</p> <p>A planning application was submitted in 2002 for the installation of a new shopfront (Ref No 02/00172/PF) – status unknown.</p>
Monitoring Notes	<p>No removal of structures behind the existing signage should be permitted to avoid removal of the last remaining remnants of the shopfront design.</p> <p>No immediate risk items identified.</p>
Recommended Actions	<p>As a group of buildings, the Emporium Buildings would benefit from a consistent approach with wholesale restoration of the facades. The following works are proposed to 137 in particular :-</p> <ul style="list-style-type: none"> • Remove the existing signage fascia and restore the earlier fascia and cornice details. • Remove the shopfront and reinstate the original shopfront design with corbels, pilasters, fascia sign, all consistent with the other buildings in the group. • Reinstall the dormer window using the dormer window to 141 as a template. • Remove the pantile roof finish and replace with slate. • Replace the rainwater downpipes with cast iron. • Repair and restore the timber gutter and support bracket detail. • Replace the chimney pots with those matching the chimney to No 137. • Consistent paint colour throughout the group to windows, gutter brackets and fascia's.

Street:	Spring Bank / Sutton Street	Address	Yum Yums, 141
Historic Photo from 1903 (Hull Then and Now 3, Paul Gibson)	Historic Photo from early 1900's (Hull Daily Mail) – note colour wash incorrectly shown as red brick rather than buff	Historic Photo from 2008 (Google maps)	
			
Current Photo – 11/05/2023 (author)	Current Photo – 11/05/2023 (author)	Current Photo – 11/05/2023 (author)	
			

Building Notes

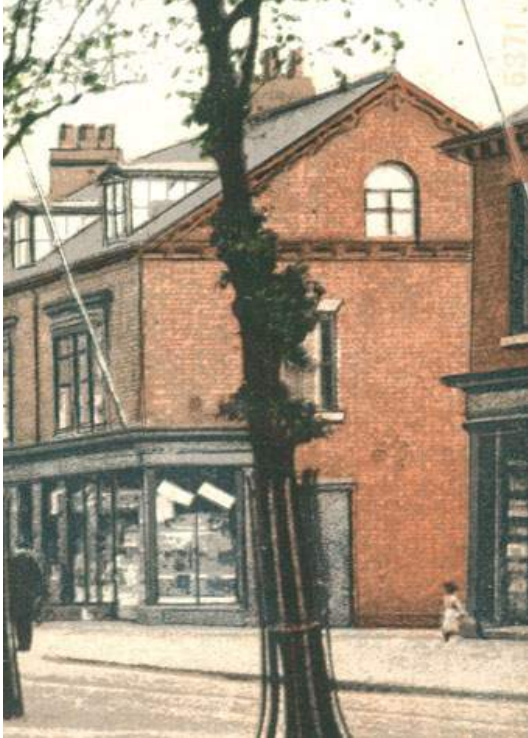


Built between 1856-1893, No 141 forms part of a group of 6 buildings along with No's 131, 133, 135, 137, and 139 (called Emporium Buildings) which were built at the same time and with identical detailing and style. The terrace was originally built as three storey residential properties with front gardens that extended into the street (now demarcated by the change in paving treatment). As Spring Bank developed "from a suburban 'promenade' to a shopping 'centre', the gardens were removed and the ground floors converted to shops with new decorative shopfronts added. The bay windows were retained to the first floor level and dormer windows were located to the roof to provide accommodation within the roofspace.

141 is particularly important as a corner landmark building along Spring Bank.

The terrace was built with a buff brick external wall finish with a slate roof finish and decorative eaves brackets and fascia supporting a cast iron gutter. The photograph from early 1900's shows the quality of the original shopfronts to Emporium Buildings with a sloping fascia, decorative pilasters and console bracket details, deep cornice and a low stall riser to maximise the views into the shops. Recessed doorways provided further opportunity for display of goods. All of the shopfronts along the length of the Emporium buildings had the same details and treatment, although the shop front design varied with some having doors to the left or right hand, side of the unit. The above photo dating from early 1900's shows that the shopfront to No 141 had a recessed door positioned to the LHS with vertical timber panelling lining the LHS. The early 1900's photograph also shows that the shop front returned around the corner onto Sutton Street, creating a strong focal point on approach from the west end of Spring Bank. This photo also shows that the timber fascia and dental support details to the gutter continues around onto the gable on Sutton Street, creating visual interest and detail. A decorative timber detail was also located beneath the edge of the roof, adding further visual interest to the gable elevation.

The building today has lost some of its historical features, although evidence is retained in the adjacent shopfronts along Emporium Buildings that would enable some or all of these features to be restored. The first floor bay window has been retained although the windows have been replaced with UPVC windows. The slate roof, cast iron gutter have been removed and replaced with terracotta concrete pantiles but the fascia and decorative gutter brackets have been retained. The dormer window has been retained although the windows have been replaced with uPVC. Remnants of the original shopfront fascia and cornice may have been retained behind the new signage. The cornice and fascia have been retained on this building and can be used to set the height and dimensions of the remaining buildings in the group should these be reinstated. External roller shutter has been installed. The shopfront to the Sutton Street frontage has been blocked up, along with a ground floor door and window. The Sutton Street elevation looks particularly

	<p>unsightly but the recent installation of street art has concealed the blocked up shop front to the Sutton Street elevation. The first and second floor windows to the Sutton Street elevation have been replaced with uPVC casement windows.</p> <p>A planning application was submitted in 2013 for the change of use from shop (A1) to mixed use café and hot food takeaway, the installation of a flue to the rear A/C units to the rear and installation of a door on the side elevation which was approved (Ref No 13/01058/FUL)</p>
Monitoring Notes	<p>No removal of the existing fascia and cornice should be permitted to avoid removal of the last remaining remnants of the shopfront design.</p> <p>No immediate risk items identified.</p>
Recommended Actions	<p>As a group of buildings, the Emporium Buildings would benefit from a consistent approach with wholesale restoration of the facades. The following works are proposed to 141 in particular :-</p> <ul style="list-style-type: none"> • Remove the existing later signage and restore the existing fascia and cornice details. • Remove the shopfront and reinstate the original shopfront design with corbels, pilasters, fascia sign, all consistent with the other buildings in the group. • Open up the elevation to Sutton Street and reinstate shop frontage onto Sutton Street. • Open up the blocked up openings to Sutton Street and replace with new door and window. • Replace the uPVC windows to the dormer window with timber framed windows. • Replace the uPVC windows generally with timber. • Remove the pantile roof finish and replace with slate. • Repair and restore the timber gutter and support bracket detail (including to the Sutton Street elevation). • Reinstate the timber detail to the gable beneath the edge of the roof on the Sutton Street elevation. • Replace the rainwater downpipes with cast iron. • Replace the chimney pots with those matching the chimney to No 137. • Consistent paint colour throughout the group to windows, gutter brackets and fascia's.

Street:	Spring Bank/Sutton Street		Address	Salam Butchers, 143 Spring Bank	
Historic Photo from early 1900's (Hull Daily Mail) – note colour wash incorrectly shown as red brick rather than buff	Historic Photo from 2015 (Google maps)		Current Photo – 11/05/2023 (author)		
					
Building Notes	<p>Built between 1856-1893, No 143 forms part of a group of 2 buildings along with the adjacent 145 Spring Bank. The group appears to have been built after the adjacent terrace from 147 -155 but has some continuity in the proportions of the window openings at first floor level. These two storey buildings were constructed with buff brickwork walls, slate roof finish, cast iron downpipes and gutters. Unlike the adjacent group (147-155), the decorative stonework lintels form a flat head to the window, rather than arched, although they share similar carving details with rosettes at the centre of the lintel to the Spring Bank elevation. The windows to the Sutton Street elevation, however, have splayed stone lintels of a similar design to No 143 opposite. This suggests the hierarchy of streets, with Spring Bank being more prominent and decorative than Sutton Street. A door opening was located on the Sutton Street elevation to</p>				

	<p>provide access to the first floor level accommodation. The historical photo from early 1900's shows the corner of No 143 and the original shopfront design and the decorative expressed eaves level with a timber gutter and decorative timber support brackets.</p> <p>The shopfront on the photographs from 2009 and 2023 is consistent and the existing shopfront appears to be the original Victorian shopfront with a recessed glazed door with a mosaic tiled threshold, timber frames split vertically with elegant curved mullions, a stone stall riser (which has since been painted) and a curved timber cill. An external roller shutter has been added and the pilasters concealing part of the shopfront windows and the corbel brackets and fascia have been removed (although evidence of these may be concealed behind the later fascia sign. To the first floor the original timber sash windows have been retained in situ. The side entrance door to access the first floor accommodation has been blocked up and the buff brickwork has been painted throughout which has visually lost the lintel details over the windows to both the Spring Bank and Sutton Street elevation. The buff brick to the rear elevation of the original building (later extended in red brick) is still visible. The decorative frieze detail beneath the eaves has been covered over with the new uPVC fascia. The slate roof finish has been removed and replaced with concrete pantiles.</p>
<p>Monitoring Notes</p>	<p>The first floor level windows are the original Victorian windows and any application to remove the Hampel should not be permitted.</p> <p>On site investigation into whether the shopfront is original to be undertaken. Any works to remove the shopfront should not be approved.</p>
<p>Recommended Actions</p>	<p>As one of the last remaining early shopfronts on Spring Bank and a key focal corner building No 143 would be worth considering restoration.</p> <ul style="list-style-type: none"> • Remove paint from stone stall riser. • Remove signage and reinstate the cornice, fascia, pilasters and console bracket (as early 1900's photo) • Undertake paint analysis on shopfront to establish the original colour scheme. • Remove paint from buff brickwork and decorative lintels to reveal the details to both Spring Bank and Sutton Street elevations. • Reinstate former entrance door from Sutton Street (if feasible internally). • Remove pantile roof and replace with slate. • Reinstate the timber gutter and decorative support brackets. • Replace PVC downpipes with cast iron.

- Retain and restore the original windows to first floor level.
- Consistent colour scheme to lintels, gutter and eaves supports as No 145 to form a visually cohesive group.

Street:	Spring Bank	Address	Bekhal International Supermarket, 145
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Historic Photo from early 1900's (Hull Daily Mail) – note colour wash incorrectly shown as red brick rather than buff

Historic Photo from 2015 (Google maps)

Current Photo – 11/05/2023 (author)



Building Notes

Built between 1856-1893, No 145 forms part of a group of 2 buildings along with the adjacent 143 Spring Bank. The group appears to have been built after the adjacent terrace from 147 -155 but has some continuity in the proportions of the window openings at first floor level. These two storey buildings were constructed with buff brickwork walls, slate roof finish, cast iron downpipes and gutters. Unlike the adjacent group (147-155), the decorative stonework lintels form a flat head to the window, rather than arched, although they share similar carving details with rosettes at the centre of the lintel to the Spring Bank elevation.

The historical photo from early 1900's shows the corner of No 143 and the original shopfront design and the decorative expressed eaves level with a timber gutter and decorative timber support brackets that would have also been incorporated into No 145 as a group. The first floor window were timber sliding sash with a central bead to the top and bottom pane, as the existing 143. The roof finish was slate and downpipes were cast iron. The earlier shopfront would have been consistent with the shopfront retained at No 143 with a low stone stall riser timber shopfront split vertically and a recessed door with a mosaic threshold.

Today the building has had many of the original features removed or concealed. The first floor level has been rendered with a cement render and painted which has led to the decorative window lintels being concealed. Remnants of the decorative eaves detail and brackets are visible.

An external roller shutter has been added and the original shopfront, pilasters, corbel brackets and fascia have been removed (although evidence of these may be concealed behind the later fascia sign). To the first floor the original timber sash windows have been removed and replaced with uPVC in a proportion that does not complement the proportions of the building. The slate roof finish has been removed and replaced with concrete pantiles and the timber gutter and support brackets have been removed and replaced with PVC. A low quality, permanent metal sheet canopy has been installed that, although provides an external area where fruit and vegetables can be displayed, giving activity and colour to the street, the quality is very poor and has a negative impact on the character of the street. The shop unit at 145 has also been extended into the adjacent 147 unit with a fascia sign extended across both units.

A number of planning applications have been submitted in relation to No 145. A change of use application was submitted in 1997 from shop to daytime café with hot and cold takeaway (Ref No 08/01650/FULL). In 2008 an application to retain the roller shutters and shutter box to the front elevation was refused (Ref 08/01649/ADV). An application for illuminated fascia signage was approved in 2008 (Ref No : 08/01640/ADV). In 2017 a change of use application from Gaming Establishment (sui generis) to A1 Retail (Supermarket) installation of shopfronts, external roller shutters and fixed canopy to No 145 and 147 was submitted and refused (Ref No : 17/00843/FULL). Following this refusal, an application was made for the installation of internal roller shutters and external awnings to No 145 and 147 that was approved (Ref No: 20/00694/FUL).

Monitoring Notes

The external canopy does not appear to be structurally designed and could lift during high winds causing a health and safety risk. This should be removed as a matter of urgency.
The cement render system will be damaging the first floor brickwork and should be removed in the short term to avoid long term damage to the buff brickwork.

Recommended Actions	<p>As a group of two with No 143 and with sufficient retained detail and photographic evidence it would be worth considering restoration along with 143.</p> <ul style="list-style-type: none"> • Remove permanent external canopy and replace with new retractable canopies to both 145 and 147. • Remove later shopfront and reinstate the original shopfront based on the adjacent 143. • Remove signage and reinstate the cornice, fascia, pilasters and console bracket (as early 1900's photo) • Remove render from buff brickwork and restore the stone decorative lintels and stone cills to reveal the details and to allow the brickwork to evaporate water build up. • Remove pantile roof and replace with slate. • Reinstall the timber gutter and decorative support brackets. • Replace PVC downpipes with cast iron. • Retain and restore the original windows to first floor level. <p>Consistent colour scheme to lintels, gutter and eaves supports as No 145 to form a visually cohesive group.</p>
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Street:	Spring Bank	Address	Bekhal International Supermarket, 147
Historic Photo from 1903 (Hull Then and Now 1, Paul Gibson)		Current Photo – 11/05/2023 (author)	



Building Notes

Built between 1856-1893, No 147 forms part of a group of 5 buildings along with the adjacent 149, 151, 153 and 155 Spring Bank. The group appears to have been built prior to the adjacent terrace 143 and 145. The group is clearly distinguished by the highly decorative stone carved lintels to the first floor windows which form a curved head to the window. The units within the group generally comprise of a two bay arrangement, however, No 147 comprises of three bays.

The external walls to 147 Spring Bank were of buff brickwork with slate roof finish and highly decorative timber gutters with decorative support brackets. Cast iron rainwater pipes were located between every other unit. The historical photograph shows the highly decorative vertical fascia with a deep cornice detail, decorative corbel brackets and pilasters. The original timber shopfronts has a carved stone stall riser with a curved profile that is consistent across all units. The shopfronts varied with some having a left or right hand side recessed door and some with a centrally positioned

recessed door. Shopfronts had vertical mullions to reduce the size of the glass and to create an elegant vertical emphasis. Some shopfronts had fanlights at the top of the shopfront used for additional signage. The original windows to first floor level were vertical sliding sash with a central bead.

Today, the building has retained some of the original features including the vertical sliding sash windows to the first floor level which can be used as a template for the reinstatement of the other buildings within the group. The buff brickwork has been painted white along with the highly decorative stone window lintels. The consistent colour means that the decorative lintel is somewhat lost in the façade and has lost its visual emphasis. A large fascia sign has been installed which continues onto the adjacent No 145. The sign has been extended upwards and conceals the original stone cills. This detracts from the original shopfront style which would have defined the party wall line with a vertical pilaster. The shop front details including the stone stall risers, pilasters, console brackets and fascia have been removed although remnants may be concealed by the later fascia signage. The console bracket detail has however been retained at No 151 which could be used as a template to reinstate the original design. The slate roof finish has been removed and replaced with concrete pantiles and the timber gutter and support brackets have been removed and replaced with PVC. A low quality, permanent metal sheet canopy has been installed that, although provides an external area where fruit and vegetables can be displayed, giving activity and colour to the street, the quality is very poor and has a negative impact on the character of the street. The shop unit at 147 has also been extended into the adjacent 145 unit with a fascia sign extended across both units. An additional PVC downpipe has been added to the RHA of the unit which overlaps the decorative stone lintel.

A number of planning applications have been submitted in relation to No 145.

In 1994 a change of use application was submitted to an amusement and bingo centre (Ref No: 94/00419/PF) Status unknown). In 1994 an application was made to install a new shop front with roller shutter (Ref No 17/00843/FULL) status unknown. In 2017 a change of use application from Gaming Establishment (sui generis) to A1 Retail (Supermarket) installation of shopfronts, external roller shutters and fixed canopy to No 145 and 147 was submitted and refused (Ref No : 17/00843/FULL). Following this refusal, an application was made for the installation of internal roller shutters and external awnings to No 145 and 147 that was approved (Ref No: 20/00694/FUL).

Monitoring Notes	The external canopy does not appear to be structurally designed and could lift during high winds causing a health and safety risk. This should be removed as a matter of urgency.
Recommended Actions	<p>As a group of five buildings with 149, 151, 153 and 155 Spring Bank and with sufficient retained detail and photographic evidence it would be worth considering restoration as a cohesive group.</p> <ul style="list-style-type: none"> • Remove permanent external canopy and replace with new retractable canopies to both 145 and 147. • Remove later shopfront and reinstate the original shopfront based on the photographic evidence. • Remove signage and reinstate the cornice, fascia, pilasters and console bracket (as early 1900's photo with retained console bracket to No 151 used as a template). • Remove paint from brickwork, stone lintels and cills. Repair and repoint brickwork as required. • Remove pantile roof and replace with slate. • Reinstate the timber gutter and decorative support brackets (as retained at No 155). • Replace PVC downpipes with cast iron. • Retain and restore the original windows to first floor level. • Consistent colour scheme to lintels, gutter and eaves supports to the group to form a visually cohesive group.

Street:	Spring Bank	Address	Peking Garden, 149
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Historic Photo from 1903 (Hull Then and Now 1, Paul Gibson)

Current Photo – 11/05/2023 (author)





Building Notes

Built between 1856-1893, No 149 forms part of a group of 5 buildings along with the adjacent 147, 151, 153 and 155 Spring Bank. The group appears to have been built prior to the adjacent terrace 143 and 145. The group is clearly distinguished by the highly decorative stone carved lintels to the first floor windows which form a curved head to the window. The units within the group generally comprise of a two bay arrangement, however, No 149 comprises of two bays.

The external walls to 149 Spring Bank were of buff brickwork with slate roof finish and highly decorative timber gutters with decorative support brackets. Cast iron rainwater pipes were

	<p>located between every other unit. The historical photograph shows the highly decorative vertical fascia with a deep cornice detail, decorative corbel brackets and pilasters. The original timber shopfronts have a carved stone stall riser with a curved profile that is consistent across all units. The shopfronts varied with some having a left or right hand side recessed door and some with a centrally positioned recessed door. Shopfronts had vertical mullions to reduce the size of the glass and to create an elegant vertical emphasis. Some shopfronts had fanlights at the top of the shopfront used for additional signage. The original windows to first floor level were vertical sliding sash with a central bead.</p> <p>Today, the building has retained some of the original features including the decorative stone arched lintels. The buff brickwork has been painted white along with the highly decorative stone window lintels. The consistent colour means that the decorative lintel is somewhat lost in the façade and has lost its visual emphasis. The first floor windows have been replaced with uPVC windows with proportions that do not respect the proportions of the original windows. A large fascia sign has been installed which extends up and conceals the stone cills to the windows above. The shop front details including the stone stall risers, pilasters, console brackets and fascia have been removed although remnants may be concealed by the later fascia signage. The console bracket detail has however been retained at No 151 which could be used as a template to reinstate the original design. The slate roof finish has been removed and replaced with concrete pantiles with a rooflight and the timber gutter and support brackets have been removed and replaced with PVC.</p> <p>One planning application has been submitted in relation to No 149. In 1992 an application was made to install a new shopfront (ref No 92/00444/PF) status unknown.</p>
Monitoring Notes	<p>Limited historic features retained. Possible remnants concealed behind existing fascia sign which should be retained if altered in the future. No immediate action items identified.</p>
Recommended Actions	<p>As a group of five buildings with 147, 151, 153 and 155 Spring Bank and with sufficient retained detail and photographic evidence it would be worth considering restoration as a cohesive group.</p> <ul style="list-style-type: none"> • Remove later shopfront and reinstate the original shopfront based on the photographic evidence. • Remove signage and reinstate the cornice, fascia, pilasters and console bracket (as early 1900's photo with retained console bracket to No 151 used as a template).

- Remove paint from brickwork, stone lintels and cills. Repair and repoint brickwork as required.
- Remove pantile roof and replace with slate.
- Reinststate the timber gutter and decorative support brackets (as retained at No 155).
- Replace PVC downpipes with cast iron.
- Remove the uPVC windows to first floor level and replace with new timber framed sash windows (as 147).
- Consistent colour scheme to lintels, gutter and eaves supports to the group to form a visually cohesive group.

Street:	Spring Bank	Address	Vacant, 151
Historic Photo from 1903 (Hull Then and Now 1, Paul Gibson)		Current Photo – 11/05/2023 (author)	
			
Building Notes	<p>Built between 1856-1893, No 151 forms part of a group of 5 buildings along with the adjacent 147, 149, 153 and 155 Spring Bank. The group appears to have been built prior to the adjacent terrace 143 and 145. The group is clearly distinguished by the highly decorative stone carved lintels to the first floor windows which form a curved head to the window. The units within the group generally comprise of a two bay arrangement, however, No 147 comprises of three bays.No . No 151 comprises of two bays.</p> <p>The external walls to 151 Spring Bank were of buff brickwork with slate roof finish and highly decorative timber gutters with decorative support brackets. Cast iron rainwater pipes were located</p>		

between every other unit. The historical photograph shows the highly decorative vertical fascia with a deep cornice detail, decorative corbel brackets and pilasters. The original timber shopfronts have a carved stone stall riser with a curved profile that is consistent across all units. The shopfronts varied with some having a left or right hand side recessed door and some with a centrally positioned recessed door. Shopfronts had vertical mullions to reduce the size of the glass and to create an elegant vertical emphasis. Some shopfronts had fanlights at the top of the shopfront used for additional signage. The original windows to first floor level were vertical sliding sash with a central bead.


Today, the building has retained some of the original features including the decorative stone arched lintels. The buff brickwork has been painted grey along with the highly decorative stone window lintels which is painted dark grey. The contrasting colours do at least emphasise the decorative lintels from the wider elevation. The first floor windows have been replaced with uPVC double glazed windows with proportions that reflect the proportions of the original windows. A large fascia sign has been installed which extends up and conceals the stone cills to the windows above. The shop front has retained details including the pilasters, console brackets, deep cornice and fascia which are in good condition and could be used as a template to reinstate the shopfronts to the wider group. The slate roof finish has been removed and replaced with concrete pantiles with a dormer window retained (albeit with uPVC windows) and the timber gutter and support brackets have been removed and replaced with PVC. The original shopfront has been removed and replaced with a new metal framed shopfront with brick stall riser and central double doors.

The building has been subject to a number of planning applications. In 2002 an application was made to provide a two storey extension to the rear along with decking and external staircase to provide access, installation of new shop front with roller shutter and installation of dormer windows and rooflight and change of use of first floor to self-contained flat was approved (Ref No 02/00261/FUL). In 2002 an application to instal replacement uPVC windows at first floor was approved (02/00640/FULL). In 2002 an application was made to change the ground floor use to restaurant with a ground floor extension to provide kitchen and toilet accommodation which was approved (02/00004/COU).

Monitoring Notes




Has retained the original console brackets, fascia, part pilasters and cornice. No works should be permitted that involve the removal of these last remaining historic elements.

	Building has been relatively well maintained with historic details retained. No immediate risk action items identified.
Recommended Actions	<p>As a group of five buildings with 147, 151, 153 and 155 Spring Bank and with sufficient retained detail and photographic evidence it would be worth considering restoration as a cohesive group.</p> <ul style="list-style-type: none"> • Remove later shopfront and reinstate the original shopfront based on the photographic evidence. • Remove signage and repair the retained cornice, fascia, pilasters and console brackets. Reinstall the missing pilasters. • Remove paint from brickwork, stone lintels and cills. Repair and repoint brickwork as required. • Remove pantile roof and replace with slate. • Reinstall the timber gutter and decorative support brackets (as retained at No 155). • Replace PVC downpipes with cast iron. • Remove the uPVC windows to first floor level and replace with new timber framed sash windows (as 147). • Consistent colour scheme to lintels, gutter and eaves supports to the group to form a visually cohesive group.

Street:	Spring Bank	Address	Red One Barbers, 153
Historic Photo from 1903 (Hull Then and Now 1, Paul Gibson)		Current Photo – 11/05/2023 (author)	
			
Building Notes	<p>Built between 1856-1893, No 153 forms part of a group of 5 buildings along with the adjacent 147, 149, 151 and 155 Spring Bank. The group appears to have been built prior to the adjacent terrace 143 and 145. The group is clearly distinguished by the highly decorative stone carved lintels to the first floor windows which form a curved head to the window. The units within the group generally comprise of a two bay arrangement, however, No 147 comprises of three bays. No. 153 comprises of two bays.</p> <p>The external walls to 153 Spring Bank were of buff brickwork with slate roof finish and highly decorative timber gutters with decorative timber support brackets. Cast iron rainwater pipes were</p>		

	<p>located between every other unit. The historical photograph shows the highly decorative vertical fascia with a deep cornice detail, decorative corbel brackets and pilasters. The original timber shopfronts have a carved stone stall riser with a curved profile that is consistent across all units. The shopfronts varied with some having a left or right hand side recessed door and some with a centrally positioned recessed door. Shopfronts had vertical mullions to reduce the size of the glass and to create an elegant vertical emphasis. Some shopfronts had fanlights at the top of the shopfront used for additional signage. The original windows to first floor level were vertical sliding sash with a central bead.</p> <p>Today, the building has retained some of the original features including the decorative stone arched lintels. The buff brickwork has been painted white along with the highly decorative stone window lintels which are painted dark green. The contrasting colours do at least emphasise the decorative lintels from the wider elevation. The first floor windows have been replaced with uPVC double glazed windows with proportions that do not reflect the proportions of the original windows. A large fascia sign has been installed which may have retained cornice and fascia details behind. The shop front has lost details including the pilasters, console brackets, deep cornice and fascia although these are retained on other buildings within the group which could be used as a template to reinstate the shopfronts to the wider group. The slate roof finish has been removed and replaced with concrete pantiles with a rooflight installed and the timber gutter and support brackets have been removed and replaced with PVC. The original shopfront has been removed and replaced with a new metal framed shopfront with a metal infill panel stall riser and central single door.</p> <p>The building has been subject to a number of planning applications. In 2001 an application to install an ATM was submitted (Ref No : 01/01397/PF) – status unknown. In 2004 an application to install an external steel staircase to the rear and install velux rooflights to replace the front and rear dormers was submitted and approved (Ref No: 04/01147/FUL).</p>
Monitoring Notes	<p>May have retained the original cornice and fascia behind the existing sign. No works should be permitted that involve the removal of any elements behind the sign without consultation. Building has been relatively well maintained. No immediate risk action items identified.</p>
Recommended Actions	<p>As a group of five buildings with 147, 149, 151 and 155 Spring Bank and with sufficient retained detail and photographic evidence it would be worth considering restoration as a cohesive group.</p>




- Remove later shopfront and reinstate the original shopfront based on the photographic evidence.
- Remove signage and repair the cornice, fascia, pilasters and console brackets based on the retained details at No 151.
- Remove signage to first floor level.
- Remove paint from brickwork, stone lintels and cills. Repair and repoint brickwork as required.
- Remove pantile roof and replace with slate.
- Reinstall the timber gutter and decorative support brackets (as retained at No 155).
- Replace PVC downpipes with cast iron.
- Remove the uPVC windows to first floor level and replace with new timber framed sash windows (as 147).
- Consistent colour scheme to lintels, gutter and eaves supports to the group to form a visually cohesive group.

Street:	Spring Bank		Address	Piece of Cake, 155	
Historic Photo from 1903 (Hull Then and Now 1, Paul Gibson)		Historic Photo from 2015 (Google maps)		Current Photo – 11/05/2023 (author)	
					
Building Notes		<p>Built between 1856-1893, No 155 forms part of a group of 5 buildings along with the adjacent 147, 149, 151 and 153 Spring Bank. The group appears to have been built prior to the adjacent terrace 143 and 145. The group is clearly distinguished by the highly decorative stone carved lintels to the first floor windows which form a curved head to the window. The units within the group generally comprise of a two bay arrangement, however, No 147 comprises of three bays. No. 155 comprises of two bays.</p> <p>The external walls to 155 Spring Bank were of buff brickwork with slate roof finish and highly decorative timber gutters with decorative timber support brackets. Cast iron rainwater pipes were located between every other unit. The historical photograph shows the highly decorative vertical fascia with a deep cornice detail, decorative corbel brackets and pilasters. The original timber shopfronts have a carved stone stall riser with a curved profile that is consistent across all units. The shopfronts varied, with some having a left or</p>			

	<p>right hand side recessed door and some with a centrally positioned recessed door. Shopfronts had vertical mullions to reduce the size of the glass and to create an elegant vertical emphasis. Some shopfronts had transom lights at the top of the shopfront used for additional signage. The original windows to first floor level were vertical sliding sash with a central bead.</p> <p>Today, the building has retained some of the original features including the decorative stone arched lintels. The buff brickwork has not been painted unlike all other buildings within the group which emphasises the texture and detail of the curved lintels. The first floor windows have been replaced with uPVC double glazed windows with proportions that do reflect the proportions of the original windows but are casement windows. A large fascia sign has been installed which may have retained cornice and fascia details behind. The shop front has lost details including the pilasters, console brackets, deep cornice and fascia, although these are retained on other buildings within the group which could be used as a template to reinstate the shopfronts to the wider group. The slate roof finish has been retained but the original dormer windows have been removed and replaced with rooflights. The timber gutter and support brackets have been removed and replaced with PVC gutter and downpipe. The original shopfront has been removed and replaced with a new metal framed shopfront with a tiled stall riser and single door to the LHS of the shopfront.</p> <p>There are no planning applications on record for this property.</p>
Monitoring Notes	<p>May have retained the original cornice and fascia behind the existing sign. No works should be permitted that involve the removal of any elements behind the sign without consultation.</p> <p>Building has been relatively well maintained. No immediate risk action items identified.</p>
Recommended Actions	<p>As a group of five buildings with 147, 149, 151 and 153 Spring Bank and with sufficient retained detail and photographic evidence it would be worth considering restoration as a cohesive group.</p> <ul style="list-style-type: none"> Remove later shopfront and reinstate the original shopfront based on the photographic evidence.

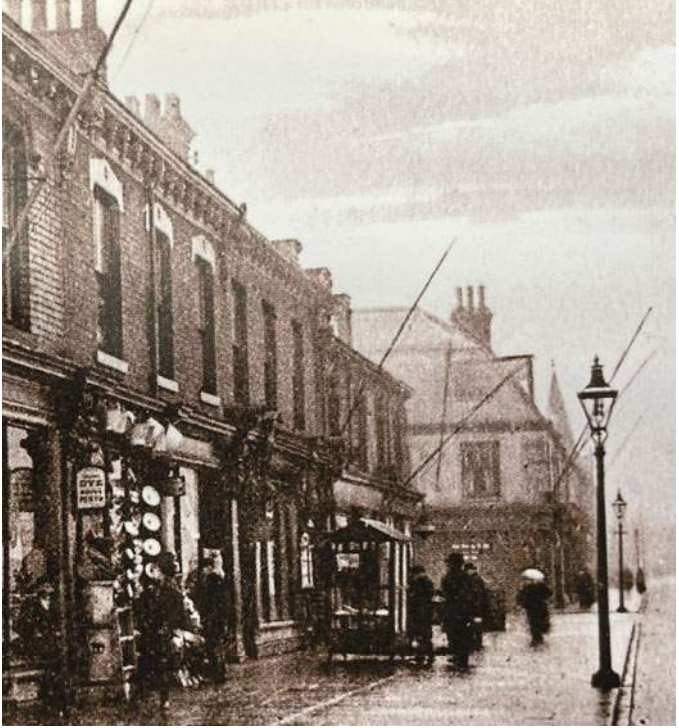


- Remove signage and repair the cornice, fascia, pilasters and console brackets based on the retained details at No 151.
- Remove signage to first floor level.
- Repair and repoint the brickwork.
- Remove pantile roof and replace with slate.
- Reinststate the timber gutter and decorative support brackets (as retained at No 155).
- Replace PVC downpipes with cast iron.
- Remove the uPVC windows to first floor level and replace with new timber framed sash windows (as 147).

Consistent colour scheme to lintels, gutter and eaves supports to the group to form a visually cohesive group.

Street:	Spring Bank	Address	Karim Mini Market, 157
Historic Photo from 1903 (Hull Then and Now 1, Paul Gibson)	Current Photo – 11/05/2023 (author)		Current Photo – 11/05/2023 (author)
			
Building Notes	<p>Built between 1856-1893, No 157 forms part of a group of buildings along with the adjacent 157, 159, 161 and 163 Spring Bank. The group is clearly distinguished by the highly decorative stone carved lintels to the first floor windows with a decorative rosette in the centre and cut detail to the bottom edge. The decorative brackets at eaves level would suggest that the group originally comprised of two buildings of three bays. In more recent years, however, the LHS building is split into 157 and 159 Spring Bank with 157 being a single bay wide and 159 being two bays wide. This is demonstrated in the photograph from 1903.</p> <p>The external walls are a red brickwork finish with timber sliding sash windows with a vertical bead centrally on each sash. A decorative bracket is located to the LHS of the unit at eaves level and the</p>		

	<p>gutter comprises of a timber gutter with decorative eaves brackets to support the gutter. The roof finish was originally a slate tile finish.</p> <p>The 1903 photograph shows the highly decorative large scale scroll details to the console bracket above the pilaster, the original shopfront and a stone carved stall riser.</p> <p>Today the building has retained some of the original details. One of the original console brackets has been retained to the LHS of the shopfront. The original cornice also appears to be retained although it is partially concealed by the later addition fascia. The decorative stone lintels are still retained. The red brick walls have been painted cream along with the decorative stone lintel. The prominence of the stone lintel has been lost due the lack of contrast between the brickwork and the lintel. The original decorative timber gutter and eaves brackets have been retained and in good condition. The timber windows have been removed and replaced with new uPVC casement windows although the adjacent No 159 has retained its sliding sash windows which can be used as a template for replacement of No 157. The slate roof tiles have been removed and replaced with concrete pantiles. PVC rainwater downpipes have been installed to replace the cast iron downpipes. External metal roller shutter installed</p> <p>Planning applications submitted relate to the construction of semi -detached dwellings to the rear of the site which was refused (Ref No 16/01731/FULL).</p>
Monitoring Notes	<p>No works to removed the retained historic console bracket and the timber gutter, decorative supports and brackets should be permitted.</p> <p>Building in reasonable condition with no immediate risk items identified.</p>
Recommended Actions	<p>As a group of two three bay buildings with 157, 159, 161 and 163 Spring Bank and with sufficient retained detail and photographic evidence, it would be worth considering restoration as a cohesive group.</p> <ul style="list-style-type: none"> • Remove paint to first floor red brickwork, repair brickwork and repoint. • Remove existing shopfront and reinstate original details including based on photographic records and retained details within the group. • Retain, restore and replicate the retained console bracket and use as a template to reinstate the console bracket to the other units within the group. • Retain, repair and redecorate the timber gutter detail decorative supports and decorative brackets to a consistent colour within the group. • Remove PVC rainwater goods and replace with cast iron.

- Replace uPVC window to first floor with timber sliding sash to match No 159.
- Remove concrete pantile roof finish and replace with slate.

Street:	Spring Bank	Address	Nasza Biedronka, 159
Historic Photo from 1903 (Hull Then and Now 1, Paul Gibson)	Historic Photo from 2009 (Google maps)	Current Photo – 11/05/2023 (author)	
			
Building Notes	<p>Built between 1856-1893, No 159 forms part of a group of buildings along with the adjacent 157, 161 and 163 Spring Bank. The group is clearly distinguished by the highly decorative stone carved lintels to the first floor windows with a decorative rosette in the centre and cut detail to the bottom edge. The decorative brackets at eaves level would suggest that the group originally comprised of two buildings of three bays. In more recent years, however, the LHS building is split into 157 and 159 Spring Bank with 157 being a single bay wide and 159 being two bays wide. This is demonstrated in the photograph from 1903.</p> <p>The external walls are a red brickwork finish with timber sliding sash windows with a vertical bead centrally on each sash. A decorative bracket is located to the RHS of the unit at eaves level and the gutter</p>		

comprises of a timber gutter with decorative eaves brackets to support the gutter. The roof finish was originally a slate tile finish.

The 1903 photograph shows the highly decorative large scale scroll details to the console bracket above the pilaster, the original shopfront and a stone carved stall riser.

Today the building has retained some of the original details. The original console brackets have been removed from No 161 but one has been retained to the adjacent No 159. The original cornice may be retained in part but concealed by the later addition sign. The decorative stone lintels to the first floor windows are still retained. The red brick walls have been painted grey along with the decorative stone lintel. The original decorative timber gutter and eaves brackets have been retained and in reasonable condition. The timber sliding sash windows have been retained to No 159 and can be used as a template for replacement of No 157, 161 and 163. The slate roof tiles have been removed and replaced with concrete pantiles. PVC rainwater downpipes have been installed to replace the cast iron downpipes. External metal roller shutter installed

A number of planning applications have been made relating to the property. In 2008 an application to install a new shopfront with roller shutter was submitted (Ref No 88/00312/PF) status unknown. In 2005 an application was made to change the use of the ground floor premises to hot food takeaway which was permitted (Ref No : 05/00603/COU).

Monitoring Notes No works to remove the retained timber gutter, decorative supports and brackets should be permitted. Building in reasonable condition with no immediate risk items identified.

Recommended Actions **As a group of two three bay buildings with 157, 161 and 163 Spring Bank and with sufficient retained detail and photographic evidence, it would be worth considering restoration as a cohesive group.**

- Remove paint to first floor red brickwork, repair brickwork and repoint.
- Remove existing shopfront and reinstate original details including based on photographic records and retained details within the group.
- Reinstall the corbel brackets based on the retained console bracket to No 157.
- Retain, repair and redecorate the timber gutter detail decorative supports and decorative brackets to a consistent colour within the group.
- Remove PVC rainwater goods and replace with cast iron.
- Repair and redecorate retained timber sash window to first floor.
- Remove concrete pantile roof finish and replace with slate.

Street:	Spring Bank	Address	Nasza Biedronka, 161 and 163
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Historic Photo from 1903 (Hull Then and Now 1, Paul Gibson)

Historic Photo from 2009 (Google maps)

Current Photo – 11/05/2023 (author)






Building Notes

Built between 1856-1893, No 161 and 163 forms part of a group of buildings along with the adjacent 157 and 159 Spring Bank. The group is clearly distinguished by the highly decorative stone carved lintels to the first floor windows with a decorative rosette in the centre and cut detail to the bottom edge. The decorative brackets at eaves level would suggest that the group originally comprised of two buildings of three bays. In more recent years, however, the LHS building is split into 157 and 159 Spring Bank with 157 being a single bay wide and 159 being two bays wide. This is demonstrated in the photograph from 1903.

The external walls are a red brickwork finish with timber sliding sash windows with a vertical bead centrally on each sash. A decorative bracket is located to the RHS of the unit at eaves level and the gutter

	<p>comprises of a timber gutter with decorative eaves brackets to support the gutter. The roof finish was originally a slate tile finish.</p> <p>The 1903 photograph shows the highly decorative large scale scroll details to the console bracket above the pilaster, the original shopfront and a stone carved stall riser.</p> <p>Today the building has retained some of the original details. The original console brackets have been removed from No 161 and 163 but one has been retained to the adjacent No 159 that can be used as a template. The original cornice may be retained in part but concealed by the later addition sign. The decorative stone lintels to the first floor windows are still retained. The red brick walls have been painted grey along with the decorative stone lintel. The original decorative timber gutter and eaves brackets have been retained and in reasonable condition. The timber sliding sash windows have been retained to No 159 and can be used as a template for replacement of No 161 and 163. The slate roof tiles have been removed and replaced with concrete pantiles. PVC rainwater downpipes have been installed to replace the cast iron downpipes. External metal roller shutter installed.</p> <p>A number of planning applications have been made relating to the property. An application was made in 2003 for the installation of a roller shutter with box concealed behind revised fascia was submitted (Ref No 03/01143/FULL) status unknown. A further application for a new fascia with integrated roller shutter was submitted in 2004 (Ref 04/00882/FULL) which was approved. Other applications relate to the erection of two semi-detached dwellings to the rear of the site which were refused.</p>
Monitoring Notes	<p>No works to remove the retained timber gutter, decorative supports and brackets should be permitted. Building in reasonable condition with no immediate risk items identified.</p>
Recommended Actions	<p>As a group of two three bay buildings with 157, 161 and 163 Spring Bank and with sufficient retained detail and photographic evidence, it would be worth considering restoration as a cohesive group.</p> <ul style="list-style-type: none"> • Remove paint to first floor red brickwork, repair brickwork and repoint. • Redecorate lintels. • Remove existing shopfront and reinstate original details including console bracket, pilasters, stall riser and fascia based on photographic records and retained details within the group. • Reinstall the console brackets based on the retained console bracket to No 157. • Retain, repair and redecorate the timber gutter detail decorative supports and decorative brackets to a consistent colour within the group. • Remove PVC rainwater goods and replace with cast iron.

- Remove uPVC windows and replace with new timber sliding sash windows.
- Remove concrete pantile roof finish and replace with slate.

Street: Spring Bank	Address	Vacant/Ayan Halal Butchers, 165
Historic Photo from 1905 (Hull Then and Now 1, Paul Gibson)	Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)
		
Building Notes	<p>Built between 1856-1893, No 165 forms part of a group of buildings along with the adjacent 167 Spring Bank. The group is clearly distinguished by the highly decorative arched stone lintels with the central swag detail to the first floor windows and the distinctive timber casement windows.</p> <p>The external walls are a red brickwork finish with distinctive and unusual timber casement windows. A decorative console bracket is located to the RHS of the unit at eaves level in the 1905 photo and the gutter comprises of a timber gutter with decorative eaves brackets to support the gutter. The roof finish was originally a slate tile finish. A dormer window was located above each bay.</p>	

	<p>The 1904 photograph shows highly decorative console bracket above the pilaster, the original shopfront, fascia, cornice and timber stall riser. The entrance door is positioned to the LHS of the shopfront.</p> <p>Today the building has retained some of the original details. The original console brackets have unfortunately been removed from 165 and the adjacent 167. The original cornice may be retained in part but concealed by the later addition sign. The decorative stone arched lintels to the first floor windows are still retained. The red brick walls have been painted white to the LHS bay along with the decorative stone lintel which loses the impact of the decorative detail. The original decorative timber gutter and eaves brackets have been removed and PVC rainwater goods fitted. The timber casement windows have been removed and replaced with uPVC to the LHS unit but retained to the RHS bay. The slate roof tiles have been removed along with the dormer window and the roof finish replaced with concrete pantiles. PVC rainwater downpipes have been installed to replace the cast iron downpipes. External metal roller shutter installed.</p> <p>A planning application has been submitted in 2006 for the change of use from retail (A1) to hot food takeaway (A5).</p>
Monitoring Notes	The removal of the remaining timber casement windows should not be permitted.
Recommended Actions	<p>As a group of two three bay buildings with 167 Spring Bank and with sufficient retained detail and photographic evidence, it would be worth considering restoration as a cohesive group.</p> <ul style="list-style-type: none"> • Remove paint to first floor red brickwork to RHS bay. Repair brickwork and repoint. • Redecorate lintels. • Remove existing shopfront and reinstate original details including console bracket, pilasters, stall riser and fascia based on photographic records and retained details within the group. • Reinstall the console brackets based on the photographic evidence. • Reinstall the timber gutter detail decorative supports and decorate with a consistent colour across the group. • Remove PVC rainwater goods and replace with cast iron. • Remove uPVC window to LHS bay and replace with new timber casement windows to match original (see adjacent bay). • Remove concrete pantile roof finish and replace with slate. Reinstall dormer window.

Street: Spring Bank	Address	Vacant/Ayan Halal Butchers, 165
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Historic Photo from 1905 (Hull Then and Now 1, Paul Gibson)

Historic Photo from 2008 (Google maps)

Current Photo – 11/05/2023 (author)








Building Notes

Built between 1856-1893, No 165 forms part of a group of buildings along with the adjacent 167 Spring Bank. The group is clearly distinguished by the highly decorative arched stone lintels with the central swag detail to the first floor windows and the distinctive timber casement windows.

The external walls are a red brickwork finish with distinctive and unusual timber casement windows. The roof finish was originally a slate tile finish. A dormer window was located above each bay.

The 1904 photograph shows No 165 with its highly decorative console bracket above the pilaster, the original shopfront, fascia, cornice and timber stall riser. This design is consistent with the adjacent No 167.

	<p>Today the building has retained some of the original details. The original console brackets have unfortunately been removed from 167 and the adjacent 165. The original cornice may be retained in part but concealed by the later addition sign. The decorative stone arched lintels to the first floor windows are still retained. The red brick walls have been painted white to the LHS bay along with the decorative stone lintel which loses the impact of the decorative detail. The original decorative timber gutter and eaves brackets have been removed and PVC rainwater goods fitted. The timber casement windows have been retained to the first floor level. The slate roof tiles have been removed along with the dormer window and the roof finish replaced with concrete pantiles. PVC rainwater downpipes have been installed to replace the cast iron downpipes. External metal roller shutter installed. The three windows to the ide elevation along West Parade have been bricked up.</p> <p>A number of planning application have been submitted in relation to the property. In 1998 an application to convert the first and second floor o two flats and ins a new shop front was submitted (Ref NO 98/00163/PF) status unknown. In 2001 an application for change of use from shops to office, training and social use for voluntary support group was submitted (Ref No : 01/001410PF) – status unknown. In 2013 an application was made to change the use of the mixed use offices, training and social use to leisure facility (sauna, hot tub, changing area, relaxation area to the ground floor area which was approved (Ref No : 13/00928/COU).</p>
Monitoring Notes	The removal of the remaining timber casement windows should not be permitted.
Recommended Actions	<p>As a group of two three bay buildings with 165 Spring Bank and with sufficient retained detail and photographic evidence, it would be worth considering restoration as a cohesive group. This is also a key focal corner building.</p> <ul style="list-style-type: none"> • Repair brickwork and repoint. • Redecorate lintels. • Remove existing shopfront and reinstate original details including console bracket, pilasters, stall riser and fascia based on photographic records and retained details within the group. • Reinstall the console brackets based on the photographic evidence. • Reinstall the timber gutter detail decorative supports and decorate with a consistent colour across the group. • Remove PVC rainwater goods and replace with cast iron. • Remove concrete pantile roof finish and replace with slate. Reinstall dormer window. • Remove bricked up window openings to West Parade elevation and reinstate windows.

Street:	Spring Bank		Address	Asian Bazaar (formerly tap &spile/ eagle inn), 169	
Historic Photo from 1905 (Hull Then and Now 1, Paul Gibson)			Historic Photo from 2008 (Google maps)		
					
Current Photo – 11/05/2023 (author)		Current Photo – 11/05/2023 (author)		Current Photo – 11/05/2023 (author)	
					
Building Notes		The Eagle (later renamed as the Tap and Spile) public house dates from the 1830's and was, until recently, identified as a Locally Listed Building.			




	<p>The building has retained many of its original features including the highly decorative corbel details framing each door into the building, the decorative fascia and cornice brackets, the decorative mullions to the shopfront and the panelled stallrisers.</p> <p>When in use as the Tap and Spile,</p> <p>The building has, more recently in 2014, been converted to retail use after the demand for public houses and drinking establishments in the area reduced considerably. Since the change of use, the building has been used as a Butchers and has recently been changed again into a Barbers. Each of these changes of use have eroded the quality and character of the building through the use of unsympathetic signage and colour schemes.</p> <p>The building has been subject to a number of planning applications.</p>
<p>Monitoring Notes</p>	<p>Recent installation of signage and external lighting associated with the conversion to a Barbers Shop is detrimental to the character of the building and the Conservation Area. Any further works to remove existing features should not be permitted.</p>
<p>Recommended Actions</p>	<ul style="list-style-type: none"> • Remove the extensive signage to the external frontage and repair damage caused by works. • Redecorate using a more sympathetic colour scheme that is more muted in tone.

Street: Spring Bank	Address: Women Cooperative store, 171
Historic Photo from 2008 (Google maps)	Historic Photo from 2021 (Google maps)
	
Current Photo – 11/05/2023 (author)	Current Photo – 11/05/2023 (author)
	

Building Notes




Monitoring Notes

**Recommended
Actions**

Street: Spring Bank	Address Vacant (formerly Zaff Barber), 173	
Historic Photo from 1905 (Hull Then and Now 1, Paul Gibson)	Historic Photo from 2008 (Google maps)	Current Photo – 11/05/2023 (author)
		
Building Notes	<p>Built between 1856-1893, No 173 forms part of a group of three buildings including No 171 and 175 adjacent. Unlike 171 and 175 adjacent that are two bays in width, No 173 is a narrow one bay building. The historical photograph dating from 1905 (with 173 at the far left) shows that the shopfront fascia, cornice and console brackets to the shopfronts to the full extent of this urban block including 171, 173, 177 and 179 had a consistent design that was a continuation of the shopfront at the Tap and Spile. This included a flat vertical fascia, deep, decorative cornice with dentil support detail to the underside of the cornice and highly decorative console brackets. The photograph also shows that the cornice was topped by decorative ironwork with decorative support brackets on the top of the console bracket. The shopfront to 173 had the entrance door to the centre of the unit with a recessed door and is likely to have had a timber panelled stall riser as No 175 in the 1905 photo. The Spring Bank elevation was rendered at the first floor level and the windows to No 171, 173 and 175 were much simpler in design detail than others in the street, with no decorative stone lintels or cills. The windows</p>	




	<p>were vertical sliding sash windows with a central vertical bead. The roof finish was slate with timber gutters and decorative timber support brackets at approx. 1m centres and cast iron gutters.</p> <p>The 2008 photograph shows that, by this time, the majority of the original features have been lost. The shopfront has been removed and replaced with a new timber shopfront with a low brick stall riser. The cornice, pilasters and console brackets have all been removed (although remnants may be found beneath the existing sign). The door has been relocated to the LHS and the first floor window has been replaced with a new timber window that is of a proportion that does not reflect the proportions of the original design. The roof slates have been replaced with concrete pantile roof tiles and the timber gutters and cast iron downpipes have been removed and replaced with PVC.</p> <p>Today, the building has continued to dilapidate since 2008 and was subject to a fire in 2021 that started in the adjacent No 175 which has left the building in a severe state of disrepair. The roof structure was significantly damaged by the fire and is now open to the elements with a large opening in the roof. Since the fire, no works have been undertaken to restore the damage or to protect the building from further degradation. The building requires significant investment to protect it for the future.</p> <p>INSERT PLANNING HISTORY</p>
<p>Monitoring Notes</p>	<p>Since the fire in the building in 2021, no works have been undertaken to protect the building and the building is now in a severe state of disrepair. The roof structure is exposed to the elements which has allowed continual water ingress and is likely to have destroyed the timber internal structure to the roof and floors. It is likely that the building will need to be stripped back to the external walls with all timber floor and roof structures removed due to the damage from the fire, followed by continual water ingress in order to bring the building back into use. The building is currently unsafe and is having a harmful impact on the character of the Conservation Area and causes a lack of active frontage along this section of Spring Bank.</p>
<p>Recommended Actions</p>	<p>The building is currently unsafe and requires a significant investment to bring it back into use but would benefit from a complete restoration as a group with the adjoining No 175 following the fire damage.</p> <p>The recommended actions are as follows :-</p> <ul style="list-style-type: none"> • Remove the pantile roof finish, gutters, downpipes and rooflights and assess the structural damage to the roof and floor structure for the potential to retain any of the original timber structure where possible. • Remove all debris and guano from inside the building.

- Remove the windows, shopfront and roller shutter and take back the building to its external walls.
- Assess the external walls for structural damage.
- If the render is cement based render, remove the render from the external walls.
- Repair any damage to the external brickwork, window cills and lintels and undertake any repairs/replace the Bessemer beam to the shopfront.
- Assess structural stability of the floor joists and retain if possible. If extensively damaged by fire, replace timber floor joists and install new timber floors throughout.
- Replace floor and roof structure as required.
- Reinststate roof with slate roof tiles and reinststate the timber gutter with decorative brackets and cast iron downpipes.
- Reinststate earlier shopfront design based on historical photos and the adjacent Tap and Spile with fascia, decorative cornice, pilasters and console bracket details to match the Tap and Spile.
- Reinststate timber vertical sliding sash windows to the first floor level.
- Lime render the external elevations at first floor level.

Street: Spring Bank	Address	Vacant, 175
Historic Photo from 1905 (Hull Then and Now 1, Paul Gibson)	Historic Photo from 2010 (Google maps)	Current Photo – 11/05/2023 (author)
		
Building Notes	<p>Built between 1856-1893, No 175 forms part of a group of three buildings including No 171 and 175 adjacent. Unlike the adjacent 173 which is one bay wide, No 175 is two bays wide. The historical photograph dating from 1905 (with 175 towards the left) shows that the shopfront fascia, cornice and console brackets to the shopfronts to the full extent of this urban block including 171, 173, 177 and 179 had a consistent design that was a continuation of the shopfront at the Tap and Spile. This included a flat vertical fascia, deep, decorative cornice with dentil support detail to the underside of the cornice and highly decorative console brackets. The photograph also shows that the cornice was topped by decorative ironwork with decorative support brackets on the top of the console bracket. The shopfront to 175 had the entrance door to the centre of the unit with a recessed door with decorative pilasters (but no console brackets) to each side of the entrance door and had a timber panelled stall riser in the 1905 photo. The Spring Bank elevation was rendered at the first floor level and the windows to No 171, 173 and 175 were much simpler in design detail than others in the street, with no decorative stone lintels or cills. The windows were vertical sliding sash windows with a central vertical bead. The roof finish was slate with timber gutters and decorative timber support brackets at approx. 1m centres and cast iron gutters.</p>	

	<p>The 2008 photograph shows that, by this time, the majority of the original features have been lost. The shopfront has been removed and replaced with a new metal shopfront with a low brick stall riser. The cornice, pilasters and console brackets have all been removed (although remnants may be found beneath the existing sign). The door has been relocated to the LHS and the first floor window has been replaced with a new timber window that is of a proportion that does not reflect the proportions of the original design. The roof slates have been replaced with concrete pantile roof tiles and the timber gutters and cast iron downpipes have been removed and replaced with PVC.</p> <p>Today, the building has continued to dilapidate since 2008 and was subject to a fire in 2021 that started in the Pudding Company unit in 175 which has left the building in a severe state of disrepair. The roof structure was significantly damaged by the fire and is now open to the elements with a large opening in the roof. Since the fire, no works have been undertaken to restore the damage or to protect the building from further degradation. The building requires significant investment to protect it for the future.</p> <p>INSERT PLANNING HISTORY</p>
<p>Monitoring Notes</p>	<p>Since the fire in the building in 2021, no works have been undertaken to protect the building and the building is now in a severe state of disrepair. The roof structure is exposed to the elements which has allowed continual water ingress and is likely to have destroyed the timber internal structure to the roof and floors. It is likely that the building will need to be stripped back to the external walls with all timber floor and roof structures removed due to the damage from the fire, followed by continual water ingress in order to bring the building back into use. The building is currently unsafe and is having a harmful impact on the character of the Conservation Area and causes a lack of active frontage along this section of Spring Bank.</p>
<p>Recommended Actions</p>	<p>The building is currently unsafe and requires a significant investment to bring it back into use but would benefit from a complete restoration as a group with the adjoining No 175 following the fire damage.</p> <p>The recommended actions are as follows :-</p> <ul style="list-style-type: none"> • Remove the pantile roof finish, gutters, downpipes and rooflights and assess the structural damage to the roof and floor structure for the potential to retain any of the original timber structure where possible. • Remove all debris and guano from inside the building. • Remove the windows, shopfront and roller shutter and take back the building to its external walls. • Assess the external walls for structural damage. • If the render is cement based render, remove the render from the external walls.

- Repair any damage to the external brickwork, window cills and lintels and undertake any repairs/replace the Bessemer beam to the shopfront.
- Assess structural stability of the floor joists and retain if possible. If extensively damaged by fire, replace timber floor joists and install new timber floors throughout.
- Replace floor and roof structure as required.
- Reinststate roof with slate roof tiles and reinststate the timber gutter with decorative brackets and cast iron downpipes.
- Reinststate earlier shopfront design based on historical photos and the adjacent Tap and Spile with fascia, decorative cornice, pilasters and console bracket details to match the Tap and Spile.
- Reinststate timber vertical sliding sash windows to the first floor level.
- Lime render the external elevations at first floor level.




Street: Spring Bank	Address	Azad Globel, 175
Historic Photo from 1905 (Hull Then and Now 1, Paul Gibson)	Historic Photo from 2009 (Google maps)	Current Photo – 11/05/2023 (author)
		
Building Notes	<p>Built between 1856-1893, No 177 forms part of a group of two buildings including No 179 adjacent. Unlike the adjacent 173 which is one bay wide, No 175 is two bays wide. The group is distinguishable by the decorative stone carved hoodmould lintel and horizontal stone cornice detail adjoining the base of the lintels. The building is two storeys high and two bays wide. The historical photograph dating from 1905 (with 175 towards the left) shows that the shopfront fascia, cornice and console brackets to the shopfronts to the full extent of this urban block including 171, 173, 175 and 179 had a consistent design that was a continuation of the shopfront at the Tap and Spile. This included a flat vertical fascia, deep, decorative cornice with dentil support detail to the underside of the cornice and highly decorative console brackets. The photograph also shows that the cornice was topped by decorative ironwork with decorative support brackets on the top of the console bracket. The shopfront to 179 had the entrance door to the centre of the unit with a recessed door and had a stone carved stall riser. The Spring Bank elevation was rendered at the first floor level and the windows to No 17 and 175 were much simpler in design detail than others in the street, with no decorative stone lintels or cills. The windows</p>	

	were vertical sliding sash windows with a central vertical bead. The roof finish was slate with timber gutters and decorative timber support brackets at approx. 1m centres and cast iron gutters.
Monitoring Notes	
Recommended Actions	

Street:	Spring Bank	Address	Slemany Food, 177
	Historic Photo from 1905 (Hull Then and Now 1, Paul Gibson)		Historic Photo from 2009 (Google maps)
			Current Photo – 11/05/2023 (author)





Building Notes	
Monitoring Notes	
Recommended Actions	

Street: Spring Bank	Address	Former church, 177
Historic Photo from 1905 (Hull Then and Now 1, Paul Gibson)	Historic Photo from 1995 (Phil Hampel)	Current Photo – 11/05/2023 (author)
		
Building Notes		
Monitoring Notes		
Recommended Actions		

Street:	Spring Bank	Address	Kurdistan Restaurant, 181
Historic Photo from 1995 (Phil Hampel)		Current Photo – 11/05/2023 (author)	



Building Notes	
Monitoring Notes	
Recommended Actions	

Street: Spring Bank	Address: Former Iceland, 183
Sketch of St Judes Church and Church Hall (www.genuki.org.uk)	Current Photo – 11/05/2023 (author)
	
Building Notes	
Monitoring Notes	
Recommended Actions	

Street: Spring Bank	Address Polar Bear, 229
Historic Photo from 1906 (Hull Then and Now 1, Paul Gibson)	Historic Photo from 15/2/83 (Phil Hampel)
	
Current Photo – 11/05/2023 (author)	Current Photos – 11/05/2023 (author)
	

Building Notes	
Monitoring Notes	
Recommended Actions	

Street: Spring Bank	Address: Botanic Bar, 231
Historic Photo from 15/2/83 (Phil Hampel)	Current Photos – 11/05/2023 (author)
	
Building Notes	
Monitoring Notes	
Recommended Actions	